

GENERAL NOTES

- This Detailed Site Plan is for the development of a Specialty Restaurant with drive-through on Lot 6 and Grading on Lot 5.
- The subject property is zoned M-X-T. Surrounding properties are zoned M-X-T as shown hereon.
- The existing use of this property is vacant.
- Topography and boundary information shown hereon was prepared by Atwell LLC.
- Total site area included in this Detailed Site Plan is 88,491 SF (2.032 AC)
- Total Disturbed Area = 74,484 SF (1.710 AC)
- Parking

A. Required: 38 spaces
Use Rate Requirement
Specialty Restaurant with Drive-Through (56 seat) @ 2 spaces / 3 seats 37.3 parking spaces

B. Provided: 50 spaces as follows:
47 Standard Spaces @ 9' x 19' min.
2 Accessible Handicap Spaces @ 9' x 19' with 9' access aisle.
1 Van Accessible Handicap Spaces @ 9' x 19' with 9' access aisle.

9. Loading (12 x 40 FT Min.)
A. Loading Space Required: N/A (Less than 5,000 SF)
B. Loading Space Provided: 0 Space

10. Building Coverage - Maximum: 12,385 SF (30%)
Provided: 2,748 SF (6.6%)

11. Floor Area Ratio (FAR) - Proposed (Lot 6): 0.07 FAR (2,748 SF GFA)
Proposed (Overall, Ex. Lots 2, 3 & 4 and Prop. Lot 6): 0.09 FAR (27,649 SF GFA)
(Overall FAR limit: 40,000 SF max.)
Allowed (Overall): 1.2 FAR (Max. floor area ratio allowed for overall community
(Additional 1.0 for having 20 residential units))

12. Building Height: 24 FT

13. The subject property appears on Washington Suburban Sanitary Commission Sheet 218NE18.

14. The subject property appears on Tax Map 9, Grid D1.

15. The subject property is not located within any Aviation Policy Areas.

16. The subject property has an existing Water/Sewer Category of W-3/S-3 and a proposed Water/Sewer Category of W-3/S-3.

17. There is no evidence of a cemetery on or contiguous to the subject property.

18. There are no historic structures on or near the subject property.

19. There are no wetlands or Waters of the United States on the subject property.

20. There is no 100 year floodplain on the subject property.

21. The subject property is not located within the Chesapeake Bay Critical Area.

22. Applicant: Westside Land Holdings, LLC
9102 Owens Drive
Manassas, VA 20111-4803
Provided = 8,147 SF (17.2% of Net Lot Area)

23. Green Area (Lot 6): Required = 4,748 SF (10% of Net Lot Area)
Provided = 8,147 SF (17.2% of Net Lot Area)

24. All on-site concrete curb and gutter to be Prince George's County Std. No. 300.01 unless otherwise modified.

25. All parking spaces shall be defined by 4' wide white painted striping.

26. Radii on islands and curb work to be 5 feet unless otherwise shown.

27. Minimum grade on areas not paved: 2.5% unless otherwise noted, 2% in swales.
Maximum grade: 2:1
Contour interval: 1 foot
Vertical datum is based on NGVD 1929 Datum.
Horizontal datum is based on NAD 83/91 Datum.

28. Existing Utilities:
A. Notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to beginning any excavation or construction for them to mark the location of existing utilities.
B. Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and elevations of the mains by digging test pits by hand at utility crossings well in advance of trenching. If clearances of the lines are less than shown on this plan or less than twelve inches, contact the engineer and other involved utility companies before proceeding with construction.
C. Omissions and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Atwell, LLC shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
D. Due to the proximity of live underground and overhead utilities, Atwell is not responsible for any damage or injury sustained during construction by any persons, trucks, trailers, or equipment used on or adjacent to the site.

29. All grading work shall be in accordance with Division 2 of the Prince George's County Building Code (Subtitle 32, latest edition). All proposed load-bearing fills for the support of buildings, walls and other structures shall be Class I. All fills for the support of roadways, pavements, rigid utility lines and house connections shall be Class II. All landscaped areas, lawns and plantings, or other non-load bearing uses shall be Class III. Each layer of Class I and Class II fills shall be compacted at optimum moisture content and to a minimum of 95% and 90% respectively of maximum density as determined in the laboratory by the Standard Proctor Test (AASHTO T-99, ASTM D-698). In-place density tests shall be provided by a licensed Geotechnical Engineer.

The site geotechnical analysis and report prepared by a Maryland licensed Geotechnical Engineer shall be consulted and used to provide details for pavement sections, lift thickness, compaction, drainage, and any other site specific recommendations and requirements. Those recommendations and requirements shall take precedence over any conflicting information between the plans and report.

30. Upon completion of work, site grading, drainage, property corner and landscape observations and certifications must be performed by a licensed professional engineer, landscape architect and/or surveyor, confirming that all work has been completed in accordance with the permit, approved plans, and codes. These certifications are required to finalize the permit and release bonds.

31. All grades, elevations, earth quantities, etc., are to be verified by the contractor. Any earth quantities shown or implied are measured to final grade and are approximate. No allowance has been made for unsuitable material encountered during construction. Suitability of soil for use in fill areas or stability of cut areas, compaction, etc., should be determined by a soils engineer.

32. The contractor will be responsible for any damage to the existing structures and underground utilities.

33. The contractor will have sole responsibility for the construction means, methods, and techniques of executing his work, including safety.

34. During the construction phases of this project, the contractor shall comply with Subtitle 19 of the Prince George's County Code to not allow noise to adversely impact activities on the adjacent properties.

35. During the construction phases of this project, the contractor shall comply with the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control to prevent dust from crossing over property lines and impact adjacent properties.

36. No handicapped parking space shall have a slope greater than 2.0% in any direction. No handicap ramp shall have a longitudinal slope greater than 8.3% or a cross slope greater than 2.0%.

37. Unless otherwise shown, all sidewalks shall have a cross slope no greater than 2%.

38. Dimensions shown in the parking and drive areas are to face of curb, where applicable.

39. All exterior light poles are to be set back at least 2.0' from the face of curb when located on vehicular surfaces or head in parking spaces unless otherwise shown.

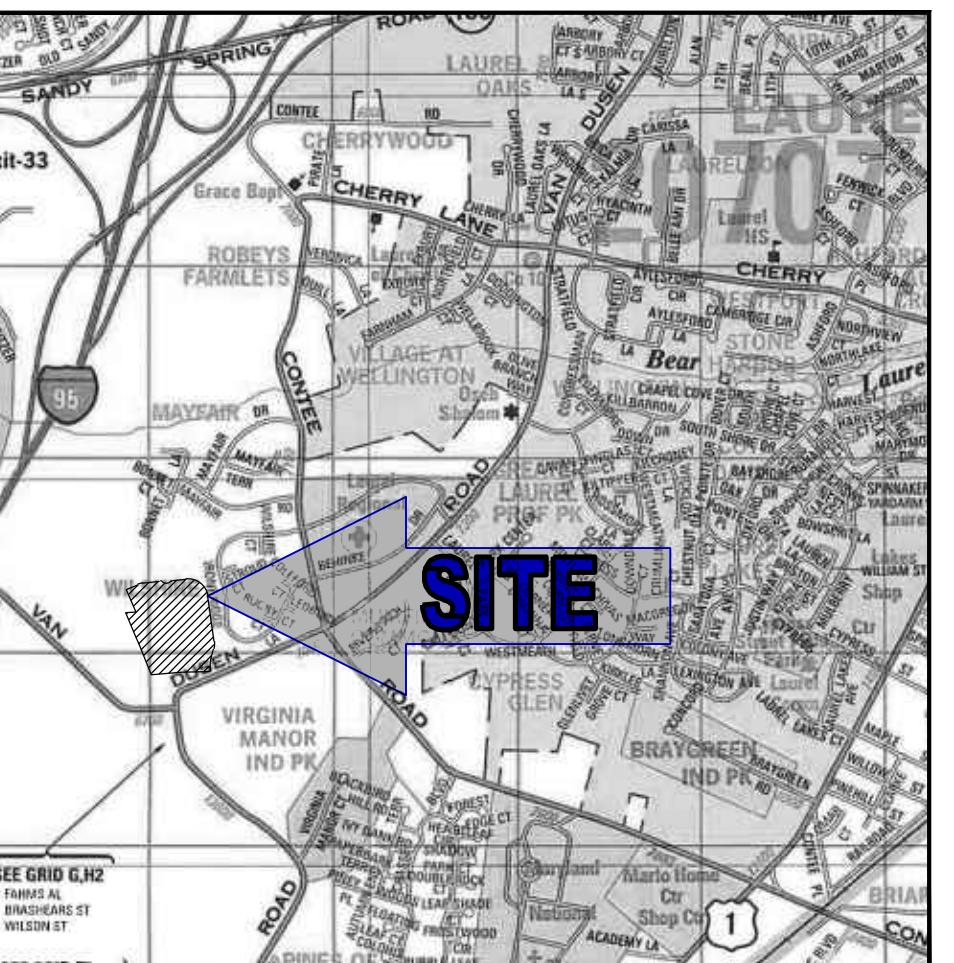
40. Arrows shown in drive aisles indicate general direction of travel and are not intended to convey a requirement that arrows be painted on the pavement.

41. Note: Lot 5 is shown for grading coordination and is not part of the Site Development Plan and Special Exception.

42. All signage shall be in accordance with MUTCD standards and specifications unless otherwise noted.

SITE DEVELOPMENT PLAN & SPECIAL EXCEPTION PLAN FOR WESTSIDE COMMERCIAL LOT 6 - PANDA EXPRESS

TAX MAP 09, GRID D1 CITY OF LAUREL, MARYLAND 20707 10TH ELECTION DISTRICT



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
SCALE: 1"=200'

OWNER/DEVELOPER
WESTSIDE LAND HOLDINGS, LLC
9102 OWENS DRIVE
MANASSAS, VA 20111-4803
PHONE: (703) 335-2255

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SITE DEVELOPMENT PLAN & SPECIAL EXCEPTION PLAN COVER SHEET COMMERCIAL LOT 6 WESTSIDE DISTRICT No. 10 CITY OF LAUREL, MARYLAND

City of Laurel Planning Commission

Approved: _____ Date: _____

Chairman: _____ Secretary: _____

DPW REVIEWER: _____ DATE: _____

DPW DIRECTOR (OR DESIGNEE): _____ DATE: _____

APPROVED: _____ APPROVED W/COMMENTS: _____ REVIEWED: _____ REJECTED: _____

City of Laurel DPW

DATE RECEIVED BY DPW: _____ DATE RETURNED TO ECD: _____

DPW REVIEWER: _____ DATE: _____

DPW DIRECTOR (OR DESIGNEE): _____ DATE: _____

APPROVED: _____ APPROVED W/COMMENTS: _____ REVIEWED: _____ REJECTED: _____

City of Laurel Board of Appeals

Approved: _____ Date: _____

Chairman: _____ Secretary: _____

City of Laurel DPW

DATE RECEIVED BY DPW: _____ DATE RETURNED TO ECD: _____

DPW REVIEWER: _____ DATE: _____

DPW DIRECTOR (OR DESIGNEE): _____ DATE: _____

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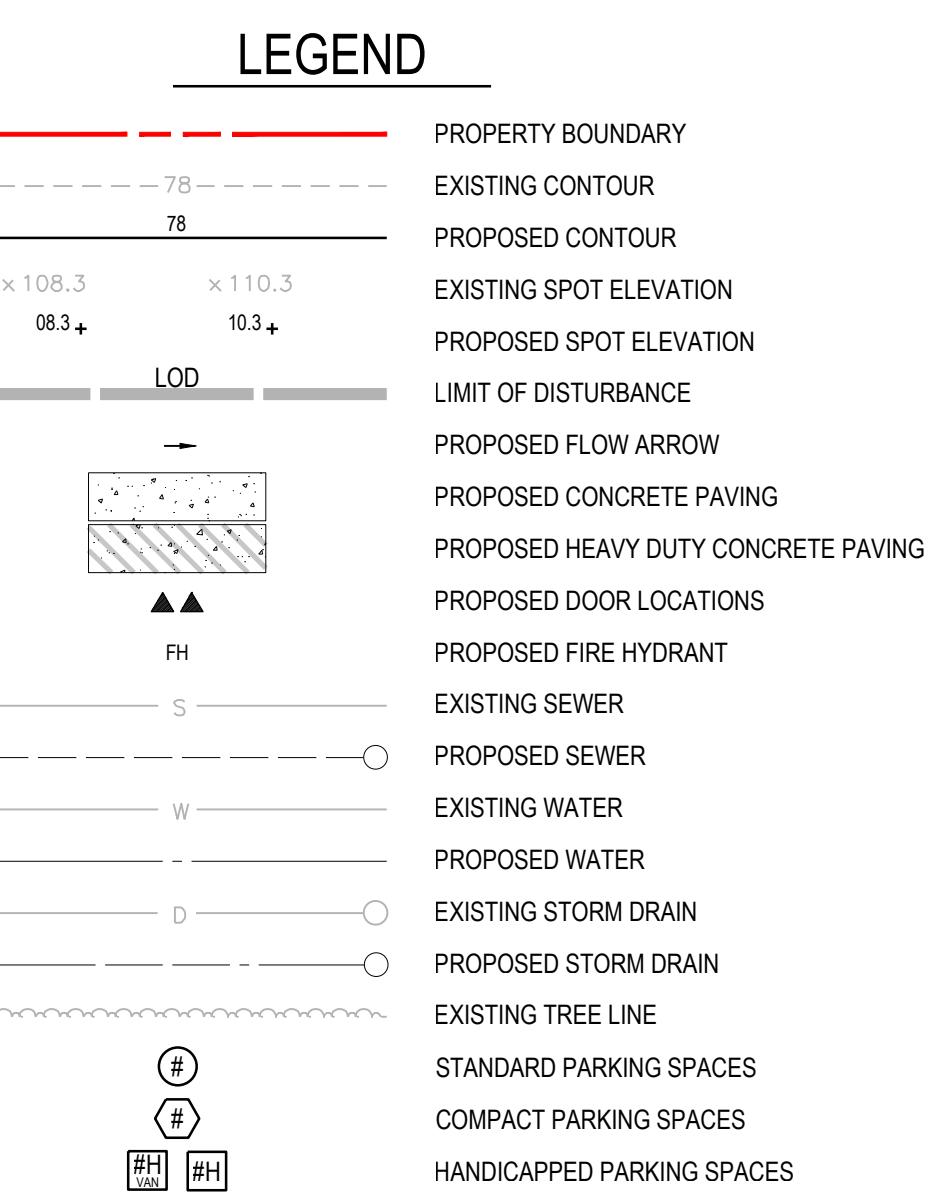
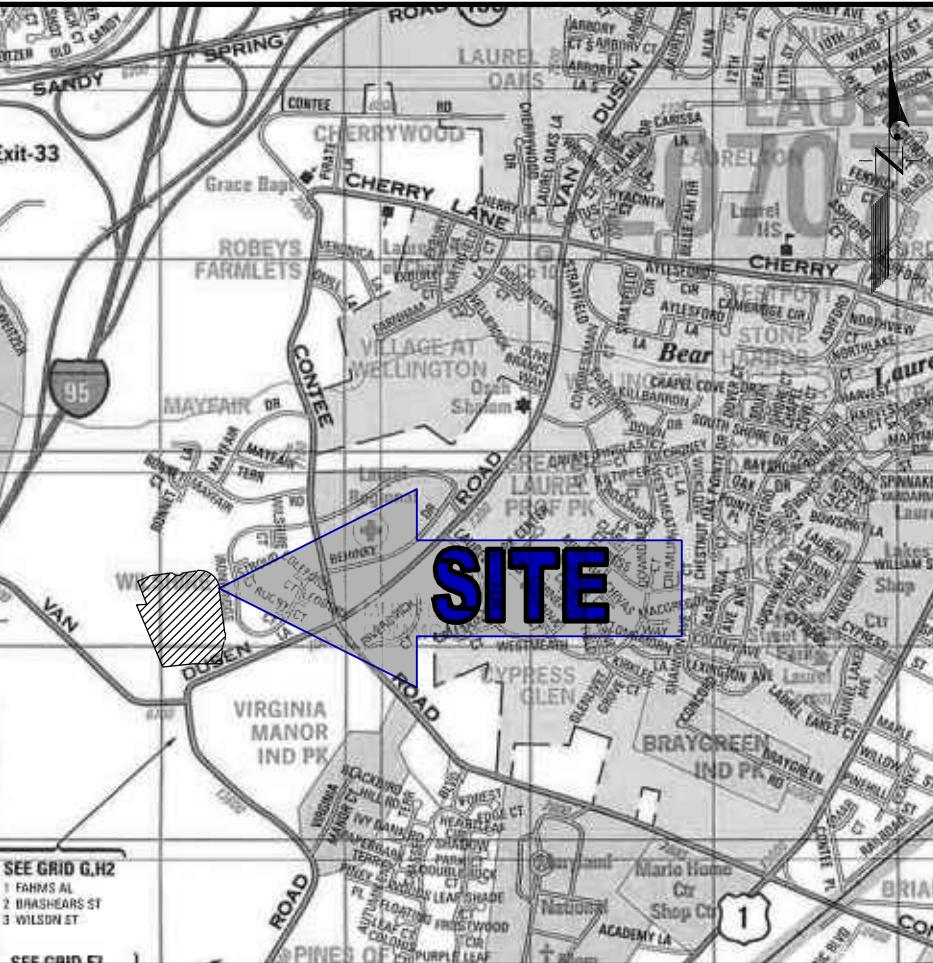
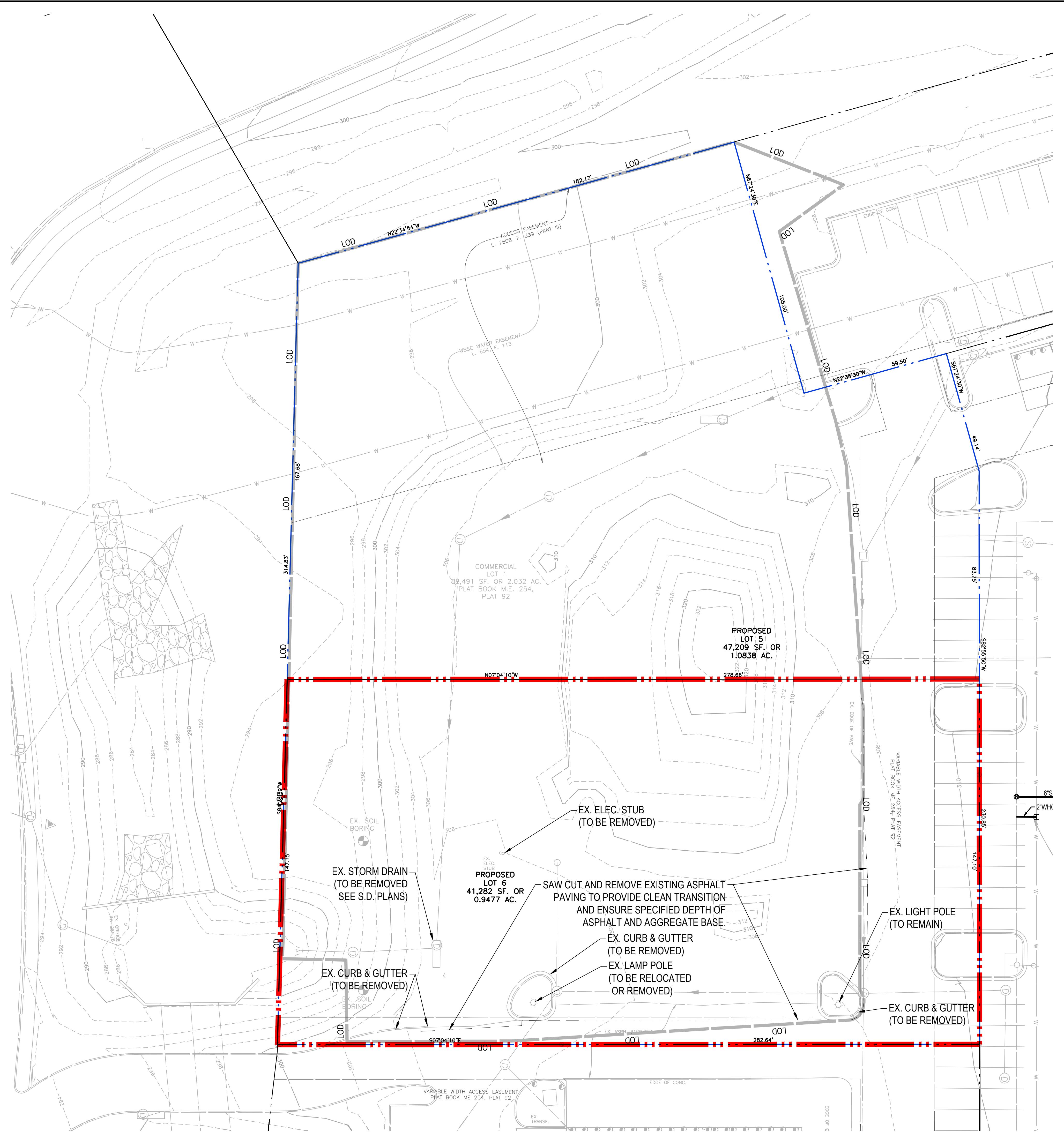
C-101

PROFESSIONAL CERTIFICATION
HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR
APPROVED OR
MADE FURNISHED
BY ME AND
THAT I AM A
LICENSED PROFESSIONAL
ENGINEER IN THE
LAW OF THE STATE OF
MARYLAND.

PAUL B. WOODBURN, PE
LICENSURE #20493
EXPIRATION DATE:
06/26/2026

DRAWN BY: _____ DESIGNED BY: _____ CHECKED BY: _____
SAI: _____ SAI: _____ PBW: _____ RECORD NO.: _____
DATE: _____ DESCRIPTION: _____ BY: _____
SCALE: _____ DATE: _____ DESCRIPTION: _____ BY: _____
REVISIONS: _____ DATE: MARCH 2025 DRW. NO.: _____

ATWELL
866.850.4200 www.atwell-group.com
11721 WOODMORE RD, SUITE 200
MICHIE, VA 20116-4020
301.435.2000



THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.



City of Laurel Planning Commission

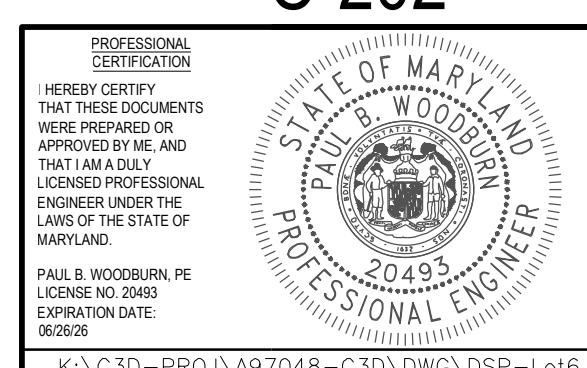
Approved: _____ Date: _____

Chairman _____ Secretary _____

SITE DEVELOPMENT PLAN & SPECIAL EXCEPTION PLAN
EXISTING CONDITIONS & DEMOLITION PLAN
COMMERCIAL LOT 6
WESTSIDE
DISTRICT No. 10
CITY OF LAUREL, MARYLAND

GRAPHIC SCALE 1"=20'
0 20' 40' 60'

C-202



ATWELL
866.850.4200 www.atwell-group.com
11721 WOODMORE RD, SUITE 200
MICHIGAN CITY, IN 46360-20721
301.435.2000

DRAWN BY: SAI	DESIGNED BY: SAI	CHECKED BY: PBW
DATE: MARCH 2025	DESCRIPTION: REVISIONS	REVISIONS
BY: DATE: MARCH 2025	SCALE: 1"=20'	REVISIONS
DRW. NO.:	REVISIONS	REVISIONS

