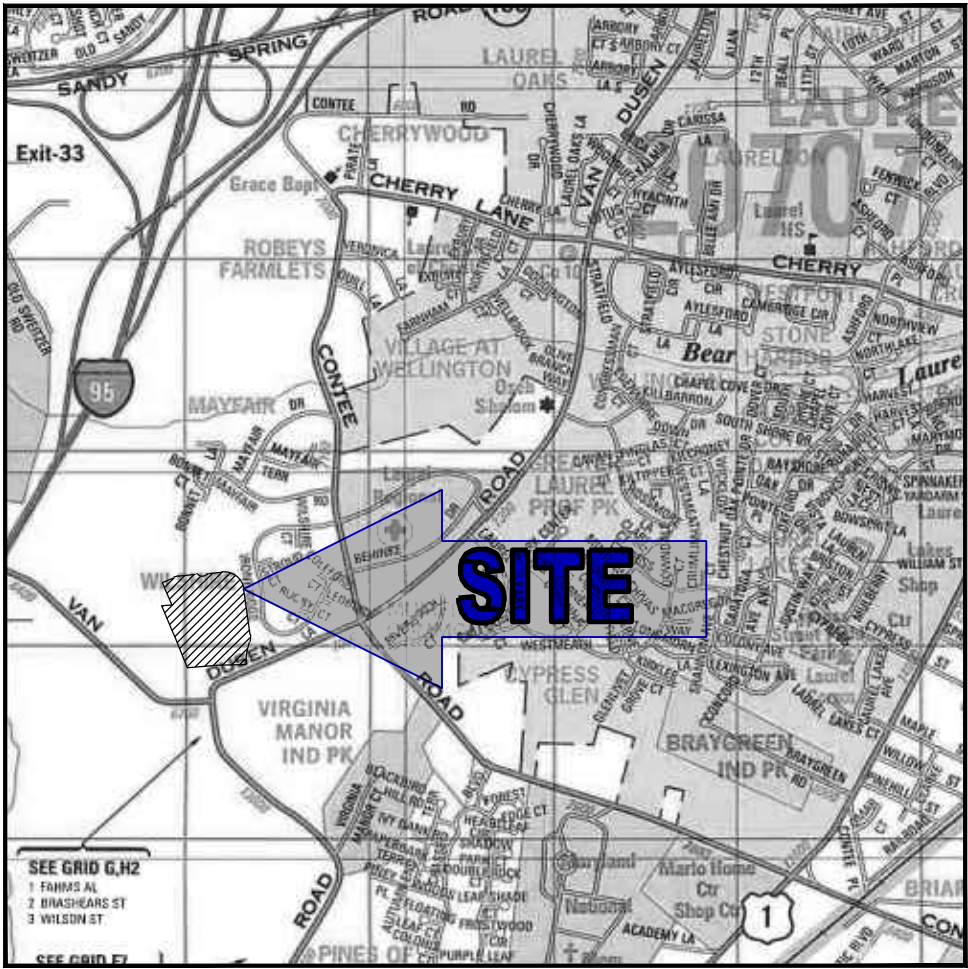


GENERAL NOTES

1. This Detailed Site Plan is for the development of a Specialty Restaurant with drive-through on Lot 6 and Grading on Lot 5.
  2. The subject property is zoned M-X-T. Surrounding properties are zoned M-X-T as shown hereon.
  3. The existing use of this property is vacant.
  4. Topography and boundary information shown hear on was prepared by Atwell LLC.
  5. Total site area included in this Detailed Site Plan is 88,491 SF (2.032 AC)
  6. Total Disturbed Area = 74,484 SF (1.710 AC)
  7. Parking
    - A. Required: 38 spaces
      - Use: Specialty Restaurant with Drive-Through (56 seat)
      - Rate: @ 2 spaces / 3 seats
      - Requirement: 37.3 parking spaces
    - B. Provided: 50 spaces as follows:
      - 47 Standard Spaces @ 9' x 19' min.
      - 2 Accessible Handicap Spaces @ 9' x 19' with 9' access aisle.
      - 1 Van Accessible Handicap Spaces @ 9' x 19' with 9' access aisle.
  9. Loading (12 X 40 FT Min.)
    - A. Loading Space Required: N/A (Less than 5,000 SF)
    - B. Loading Space Provided: 0 Space
  10. Building Coverage -
    - Maximum: 12,385 SF (30%)
    - Provided: 2,748 SF (6.6%)
  11. Floor Area Ratio (FAR) -
    - Proposed (Lot 6): 0.07 FAR (2,748 SF GFA)
    - Proposed (Overall, Ex. Lots 2, 3 & 4 and Prop. Lot 6): 0.09 FAR (27,649 SF GFA) (Overall community (40,000 SF max.) ) 1.2 FAR (Max. floor area ratio allowed for overall community (Additional 1.0 for having 20 residential units))
    - Allowed (Overall): 24 FT
  12. Building Height: 24 FT
  13. The subject property appears on Washington Suburban Sanitary Commission Sheet 218NE18.
  14. The subject property appears on Tax Map 9, Grid D1.
  15. The subject property is not located within any Aviation Policy Areas.
  16. The subject property has an existing Water/Sewer Category of W-3/S-3 and a proposed Water/Sewer Category of W-3/S-3.
  17. There is no evidence of a cemetery on or contiguous to the subject property.
  18. There are no historic structures on or near the subject property.
  19. There are no wetlands or Waters of the United States on the subject property.
  20. There is no 100 year floodplain on the subject property.
  21. The subject property is not located within the Chesapeake Bay Critical Area.
  22. Applicant: Westside Land Holdings, LLC
    - 9102 Owens Drive
    - Manassas, VA 20111-4803
  23. Green Area (Lot 6): Required = 4,748 SF (10% of Net Lot Area)
    - Provided = 8,147 SF (17.2% of Net Lot Area)
  24. All on-site concrete curb and gutter to be Prince George's County Std. No. 300.01 unless otherwise modified.
  25. All parking spaces shall be defined by 4" wide white painted striping.
  26. Radii on islands and curb work to be 5 feet unless otherwise shown.
  27. Minimum grade on areas not paved: 2.5% unless otherwise noted. 2% in swales.
    - Maximum grade: 2:1
    - Contour interval: 1 feet
    - Vertical datum is based on NGVD 1929 Datum.
    - Horizontal datum is based on NAD 83/91 Datum.
  28. Existing Utilities:
    - A. Notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to beginning any excavation or construction for them to mark the location of existing utilities.
    - B. Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and elevations of the mains by digging test pits by hand at utility crossings well in advance of trenching. If clearances of the lines are less than shown on this plan or less than twelve inches, contact the engineer and other involved utility companies before proceeding with construction.
    - C. Omissions and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Atwell, LLC shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
    - D. Due to the proximity of live underground and overhead utilities, Atwell is not responsible for any damage or injury sustained during construction by any persons, trucks, trailers, or equipment used on or adjacent to the site.
  29. All grading work shall be in accordance with Division 2 of the Prince George's County Building Code (Subtitle 32, latest edition). All proposed load-bearing fills for the support of buildings, walls and other structures shall be Class I. All fills for the support of roadways, pavements, rigid utility lines and house connections shall be Class II. All landscaped areas, lawns and plantings, or other nonroad bearing uses shall be Class III. Each layer of Class I and Class II fills shall be compacted at optimum moisture content and to a minimum of 95% and 90% respectively of maximum density as determined in the laboratory by the Standard Proctor Test. (AASHTO T-99, ASTM D-698). In-place density tests shall be provided by a licensed Geotechnical Engineer.
- The site geotechnical analysis and report prepared by a Maryland licensed Geotechnical Engineer shall be consulted and used to provide details for pavement sections, lift thickness, compaction, drainage, and any other site specific recommendations and requirements. Those recommendations and requirements shall take precedence over any conflicting information between the plans and report.
30. Upon completion of work, site grading, drainage, property corner and landscape observations and certifications must be performed by a licensed professional engineer, landscape architect and/or surveyor, confirming that all work has been completed in accordance with the permit, approved plans, and codes. These certifications are required to finalize the permit and release bonds.
  31. All grades, elevations, earth quantities, etc., are to be verified by the contractor. Any earth quantities shown or implied are measured to final grade and are approximate. No allowance has been made for unsuitable material encountered during construction. Suitability of soil for use in fill areas or stability of cut areas, compaction, etc., should be determined by a soils engineer.
  32. The contractor will be responsible for any damage to the existing structures and underground utilities.
  33. The contractor will have sole responsibility for the construction means, methods, and techniques of executing his work, including safety.
  34. During the construction phases of this project, the contractor shall comply with Subtitle 19 of the Prince George's County Code to not allow noise to adversely impact activities on the adjacent properties.
  35. During the construction phases of this project, the contractor shall comply with the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control to prevent dust from crossing over property lines and impact adjacent properties.
  36. No handicap parking space shall have a slope greater than 2.0% in any direction. No handicap ramp shall have a longitudinal slope greater than 8.3% or a cross slope greater than 2.0%.
  37. Unless otherwise shown, all sidewalks shall have a cross slope no greater than 2%.
  38. Dimensions shown in the parking and drive areas are to face of curb, where applicable.
  39. All exterior light poles are to be set back at least 2.0' from the face of curb when located on vehicular surfaces or head in parking spaces unless otherwise shown.
  40. Arrows shown in drive aisles indicate general direction of travel and are not intended to convey a requirement that arrows be painted on the pavement.
  41. Note: Lot 5 is shown for grading coordination and is not part of the Site Development Plan and Special Exception.
  42. All signage shall be in accordance with MUTCD standards and specifications unless otherwise noted.

# SITE DEVELOPMENT PLAN & SPECIAL EXCEPTION PLAN FOR WESTSIDE COMMERCIAL LOT 6 - PANDA EXPRESS


## TAX MAP 09, GRID D1 CITY OF LAUREL, MARYLAND 20707 10TH ELECTION DISTRICT





LOCATION MAP  
COPYRIGHT ADC THE MAP PEOPLE  
SCALE: 1"=2000'

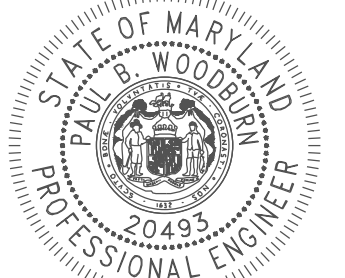
OWNER/DEVELOPER  
WESTSIDE LAND HOLDINGS, LLC  
9102 OWENS DRIVE  
MANASSAS, VA 20111-4803  
PHONE: (703) 335-2225


SITE DEVELOPMENT PLAN  
&  
SPECIAL EXCEPTION PLAN  
COVER SHEET  
COMMERCIAL LOT 6  
**WESTSIDE**  
DISTRICT No. 10  
CITY OF LAUREL, MARYLAND

	
City of Laurel Planning Commission	
Approved: _____	Date _____
Chairman	Secretary

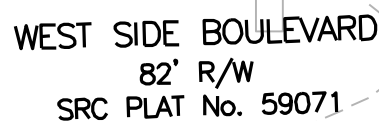
	
City of Laurel DPW	
DATE RECEIVED BY DPW: _____	DATE RETURNED TO ECD: _____
DPW REVIEWER: _____	DATE: _____
DPW DIRECTOR (OR DESIGNEE): _____	DATE: _____
APPROVED: _____	APPROVED W/COMMENTS: _____ REVIEWED: _____ REJECTED: _____

City of Laurel Board of Appeals	
Approved: _____	Date _____
Chairman	Secretary
	
City of Laurel DPW	
DATE RECEIVED BY DPW: _____	DATE RETURNED TO ECD: _____
DPW REVIEWER: _____	DATE: _____
DPW DIRECTOR (OR DESIGNEE): _____	DATE: _____
APPROVED: _____	APPROVED W/COMMENTS: _____ REVIEWED: _____ REJECTED: _____

C-101	
	
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. PAUL B. WOODBURN, PE LICENSE NO. 20435 EXPIRATION DATE: 06/01/2026	
DATE	DESCRIPTION
REVISIONS	
DATE	MARCH 2025
K:\C3D-PROJ\A97048-C3D\DWG\DSP-Lot6.dwg, 11/19/2025 3:16:09 PM, cgarrison	

	
ATWELL 866.650.4200 www.atwell-group.com 11721 WOODMORE RD, SUITE 200 MITCHELLVILLE, MD 20721 301.430.2000	
DRAWN BY: SAI	DESIGNED BY: SAI
CHECKED BY: PBW	RECORD NO: A97048
SCALE	DRWG NO:





	PROPERTY BOUNDARY
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	LIMIT OF DISTURBANCE
	PROPOSED FLOW ARROW
	PROPOSED CONCRETE PAVING
	PROPOSED HEAVY DUTY CONCRETE PAVING
	PROPOSED DOOR LOCATIONS
	PROPOSED FIRE HYDRANT
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	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING TREE LINE
	STANDARD PARKING SPACES
	COMPACT PARKING SPACES
	HANDICAPPED PARKING SPACES
	EXISTING CURB & GUTTER

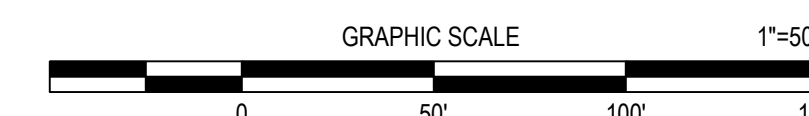
THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.



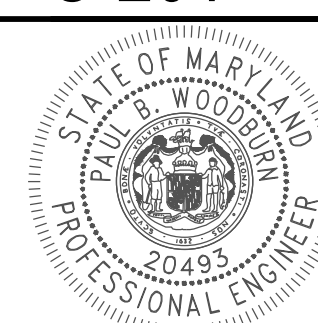
Approved: \_\_\_\_\_  
Date: \_\_\_\_\_

Chairman	Secretary
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SITE DEVELOPMENT PLAN  
&  
SPECIAL EXCEPTION PLAN  
OVERALL DEVELOPMENT  
COMMERCIAL LOT 6  
**WESTSIDE**  
DISTRICT No. 10  
CITY OF LAUREL, MARYLAND




C-201



**CERTIFICATION**  
I HEREBY CERTIFY  
THAT THESE DOCUMENTS  
WERE PREPARED OR  
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ENGINEER UNDER THE  
LAWS OF THE STATE OF  
MARYLAND.

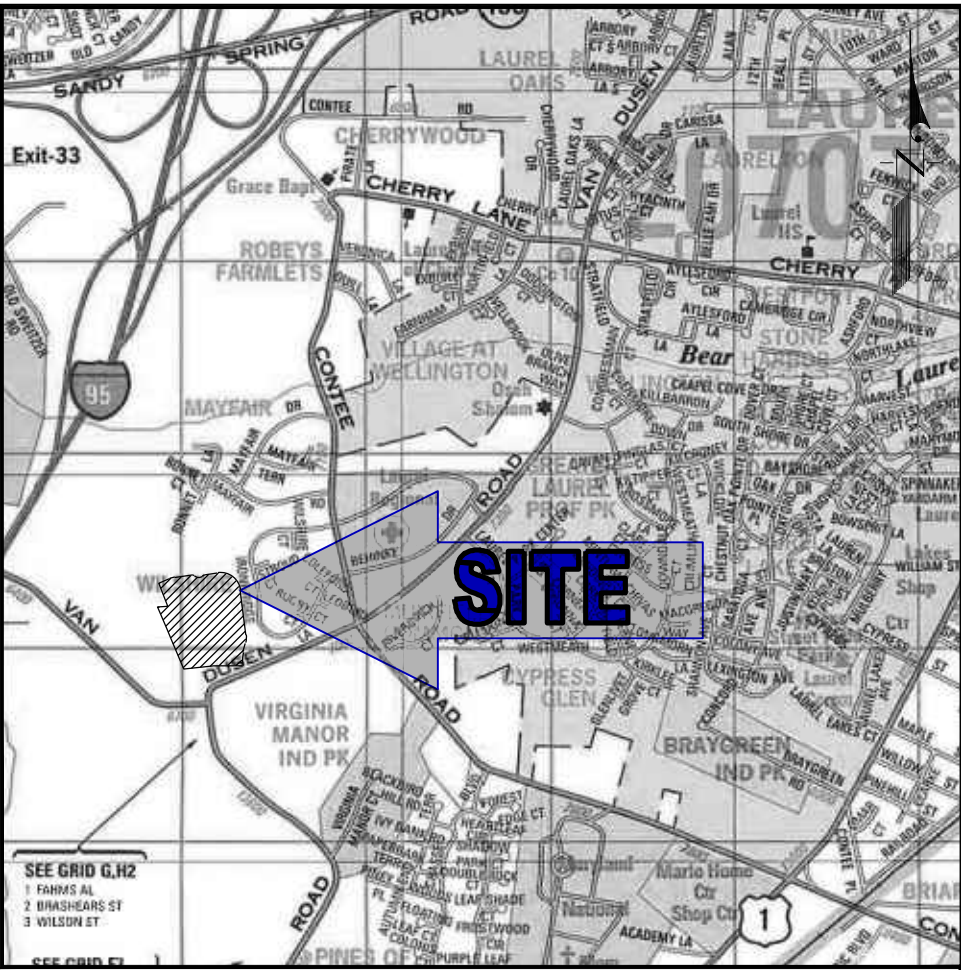
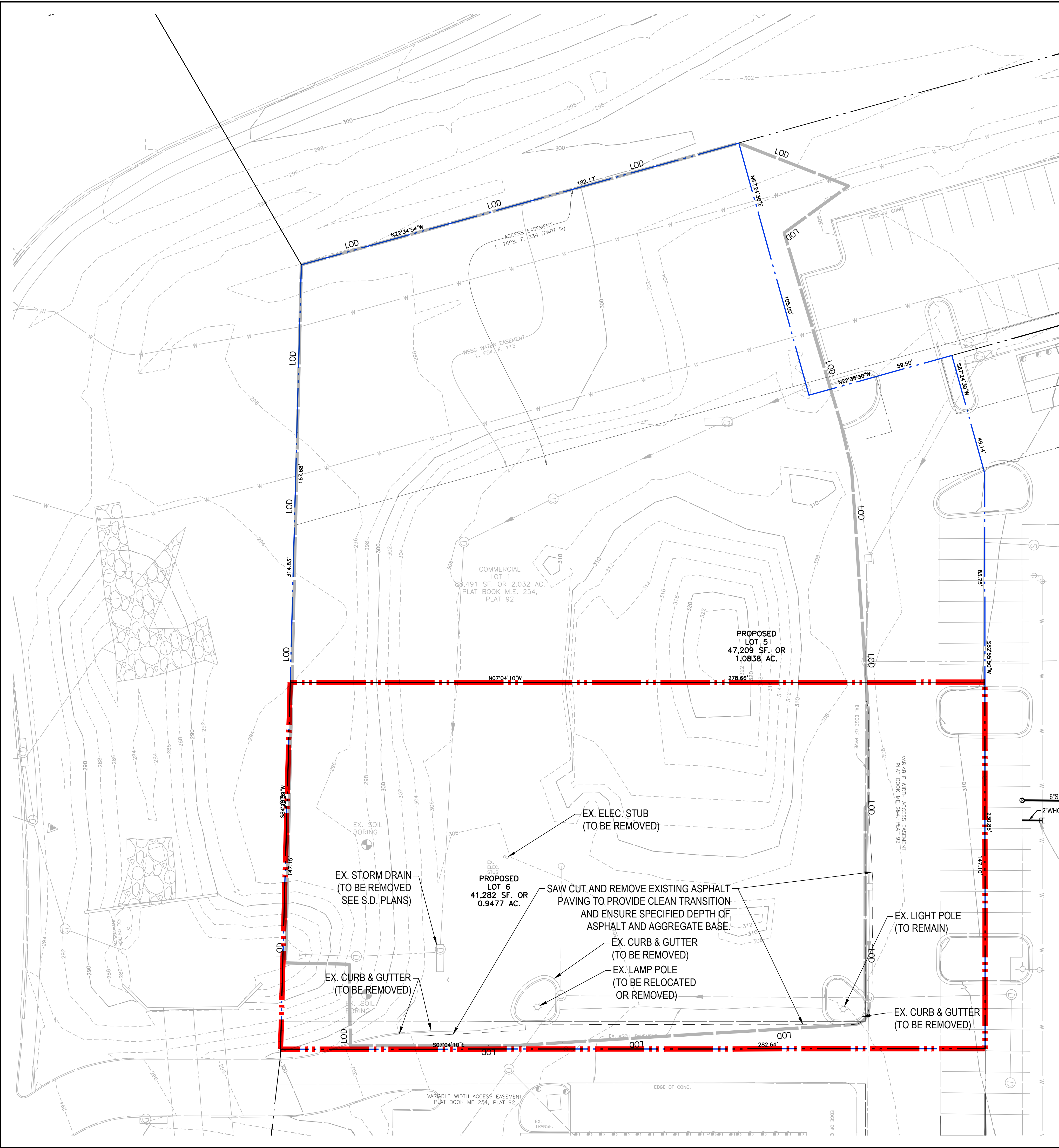
PAUL B. WOODBURN, F.  
LICENSE NO. 20493  
EXPIRATION DATE:  
06/26/20

K:\C3D-PROJ\A97048-C3D\DWG\DSP-Lot6.dwg 11/19/2025 3:16:11 PM cagarrison

						 <b>ATWELL</b> 866.850.4200 <a href="http://www.atwell-group.com">www.atwell-group.com</a> 17721 WOODMORE RD, SUITE 200 MITCHELLVILLE, MD 20721 301.435.2000			
						DRAWN BY SAI	DESIGNED BY SAI	CHECKED BY PDW	RECORD NO. A9704
						SCALE 1"=50'			
DATE			DESCRIPTION			BY			
			REVISIONS			DATE			DRWG. NO. MARCH 2025







LOCATION MAP  
COPYRIGHT ADC THE MAP PEOPLE  
SCALE: 1"=2000'

LEGEND

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMIT OF DISTURBANCE
- PROPOSED FLOW ARROW
- PROPOSED CONCRETE PAVING
- PROPOSED HEAVY DUTY CONCRETE PAVING
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- PROPOSED FIRE HYDRANT
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING WATER
- PROPOSED WATER
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- PROPOSED STORM DRAIN
- EXISTING TREE LINE
- STANDARD PARKING SPACES
- COMPACT PARKING SPACES
- HANDICAPPED PARKING SPACES
- EXISTING CURB & GUTTER

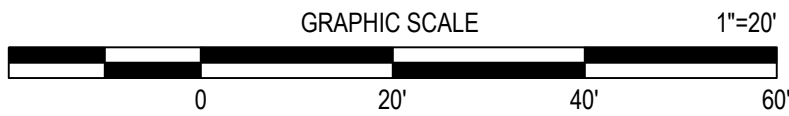
THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.

City of Laurel Planning Commission

Approved: \_\_\_\_\_ Date: \_\_\_\_\_

Chairman Secretary

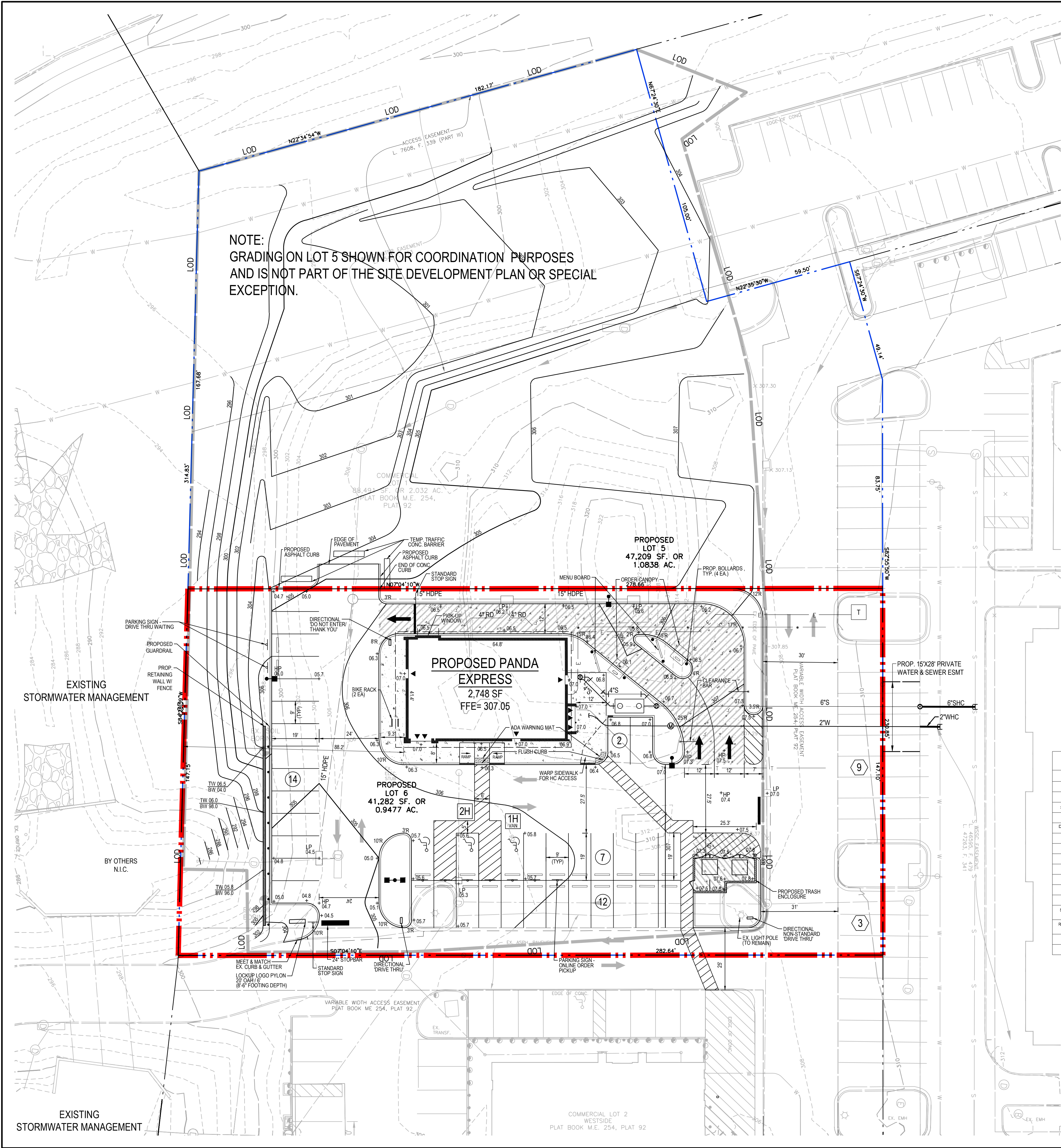
SITE DEVELOPMENT PLAN  
&  
SPECIAL EXCEPTION PLAN  
EXISTING CONDITIONS & DEMOLITION PLAN  
COMMERCIAL LOT 6  
**WESTSIDE**  
DISTRICT No. 10  
CITY OF LAUREL, MARYLAND



C-202

<p>PROFESSIONAL CERTIFICATION</p> <p>I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.</p> <p>PAUL B. WOODBURN, P.E. LICENSE NO. 20455 EXPIRATION DATE: 06/01/2026</p>		<p>DATE</p> <p>DESCRIPTION</p> <p>REVISIONS</p>		<p>BY</p> <p>SCALE: 1"=20'</p> <p>DATE: MARCH 2025</p>		<p>RECORDING NO.</p> <p>9A97048</p>	
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GENERAL SITE PLAN NOTES

- ALL ADA ACCESSIBLE PARKING SPACES AND ACCESS ROUTES SHALL BE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SCHEDULING AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO REQUIREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BEN DYER ASSOCIATES, INC. IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED HAZARDOUS MATERIAL, AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF PAVEMENT, STRUCTURES, ETC. TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
- CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND FOR NOTIFYING CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS UNLESS OTHERWISE NOTED ON THE PLANS. DETAILS AND/OR GEOTECHNICAL REPORT.
- ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
- ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAVE THEY BEEN RETAINED FOR SUCH PURPOSES.

LEGEND

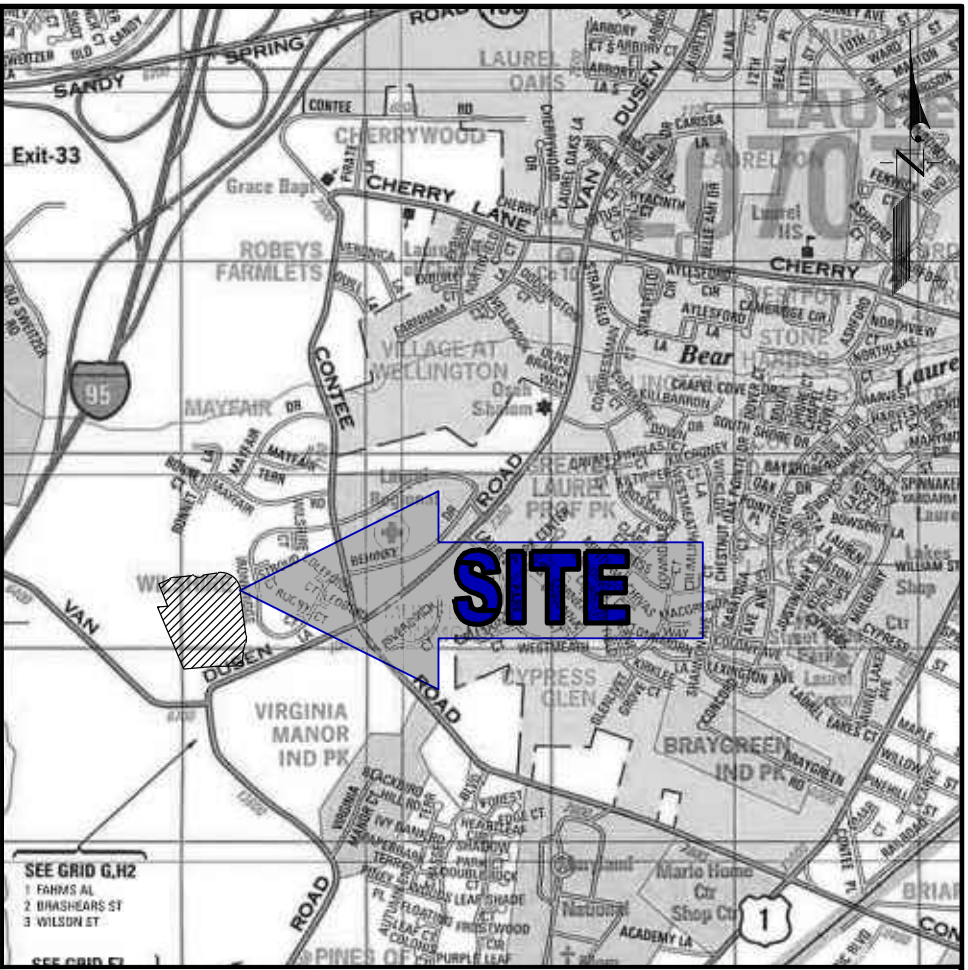
	PROPERTY BOUNDARY
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	PROPOSED CONTOUR
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	PROPOSED SPOT ELEVATION
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	STANDARD PARKING SPACES
	COMPACT PARKING SPACES
	HANDICAPPED PARKING SPACES
	EXISTING CURB & GUTTER

THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-THREE (43) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.

DETAIL INDEX

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LOCATION MAP

COPYRIGHT ADD THE MAP PEOPLE  
SCALE: 1"=200'

SITE DATA

CATEGORIES	EXISTING/ALLOWED	PROPOSED
JURISDICTION	CITY OF LAUREL	CITY OF LAUREL
ZONE	M-X-T (MIXED USE - TRANSPORTATION ORIENTED)	M-X-T (MIXED USE - TRANSPORTATION ORIENTED)
USE	VACANT	GENERAL RETAIL
TOTAL LOT AREA	LOT 2 = 2.11 AC. LOT 3 = 1.46 AC. LOT 4 = 1.25 AC. LOT 5 = 1.08 AC. LOT 6 = 0.95 AC. TOTAL = 6.85 AC.	LOT 2 = 2.11 AC. LOT 3 = 1.46 AC. LOT 4 = 1.25 AC. LOT 5 = 1.08 AC. LOT 6 = 0.95 AC. TOTAL = 6.85 AC.
BUILDING FLOOR AREA	LOT 2 = 5,600 S.F. LOT 3 = 10,231 S.F. LOT 4 = 4,800 S.F. LOT 5 = TBD LOT 6 = TBD (NET LOT AREA 5.97%)	LOT 2 = 5,600 S.F. (6.1%) LOT 3 = 10,231 S.F. (16.1%) LOT 4 = 4,800 S.F. (8.8%) LOT 5 = TBD LOT 6 = 2,748 S.F. (6.6%) (NET LOT AREA 7.8%)
PARKING	LOT 6: 54 SEATS @ 2 SP/3 SEAT = 38 SPACES	LOT 6: 50 SPACES
SETBACKS (BUILDING/ PARKING AREAS AND DRIVES)		
FRONT SETBACK (SOUTH)	30' / 0'	82.2'
SIDE SETBACK (WEST)	0' / 0'	18.8'
SIDE SETBACK (EAST)	0' / 0'	85.2'
REAR SETBACK (NORTH)	0' / 0'	145.8'



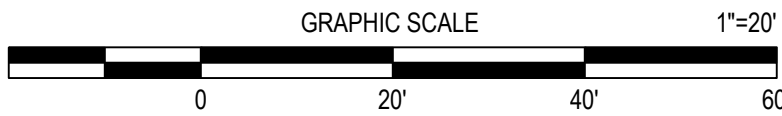
City of Laurel Planning Commission

Approved: \_\_\_\_\_ Date: \_\_\_\_\_

Chairman

Secretary

SITE DEVELOPMENT PLAN  
&  
SPECIAL EXCEPTION PLAN  
SITE PLAN  
COMMERCIAL LOT 6  
DISTRICT No. 10  
CITY OF LAUREL, MARYLAND



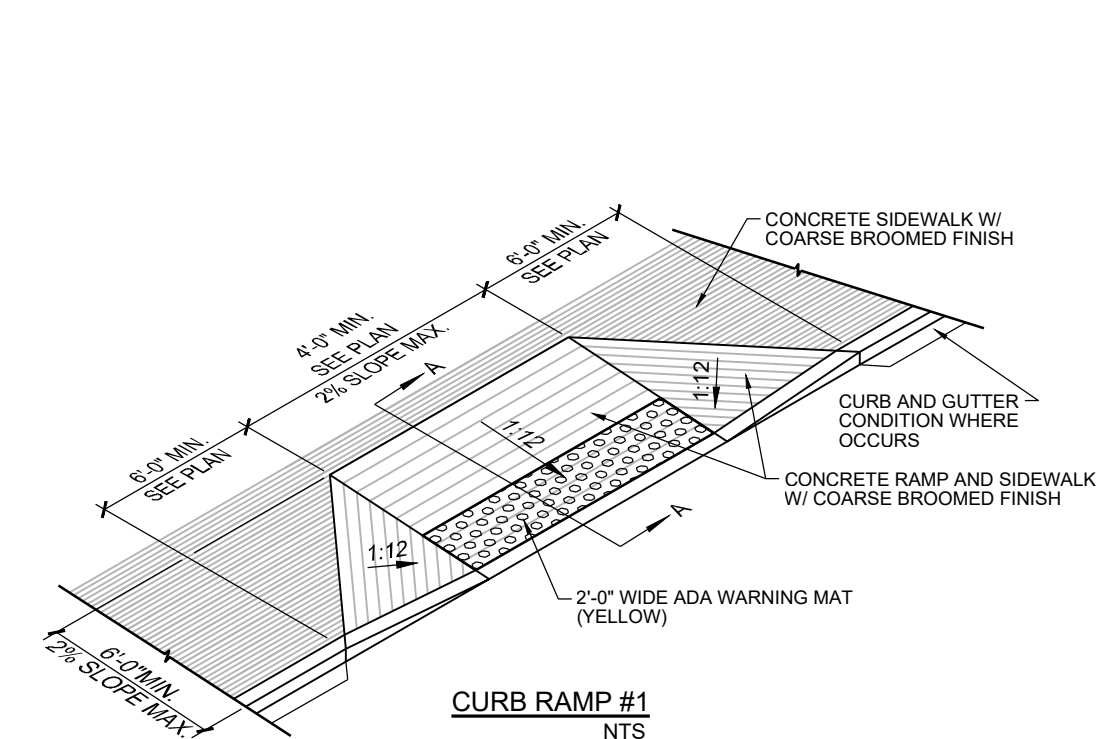
C-301

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. PAUL B. WOODBURN, P.E. LICENSE NO. 20453 EXPIRATION DATE: 06/01/2026	STATE OF MARYLAND PAUL B. WOODBURN, P.E. 20453 PROFESSIONAL ENGINEER	DATE: _____ DESCRIPTION: _____ REVISIONS: _____	BY: _____ SCALE: 1"=20' DATE: MARCH 2025	RECORD NO.: A97048 DRAWING NO.: _____
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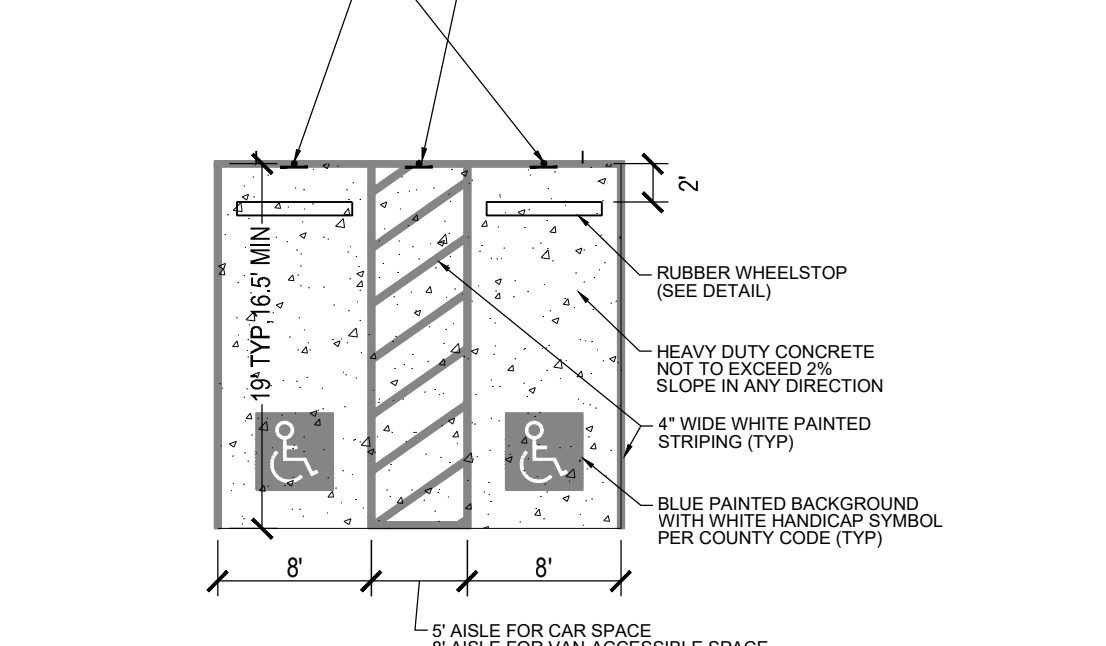




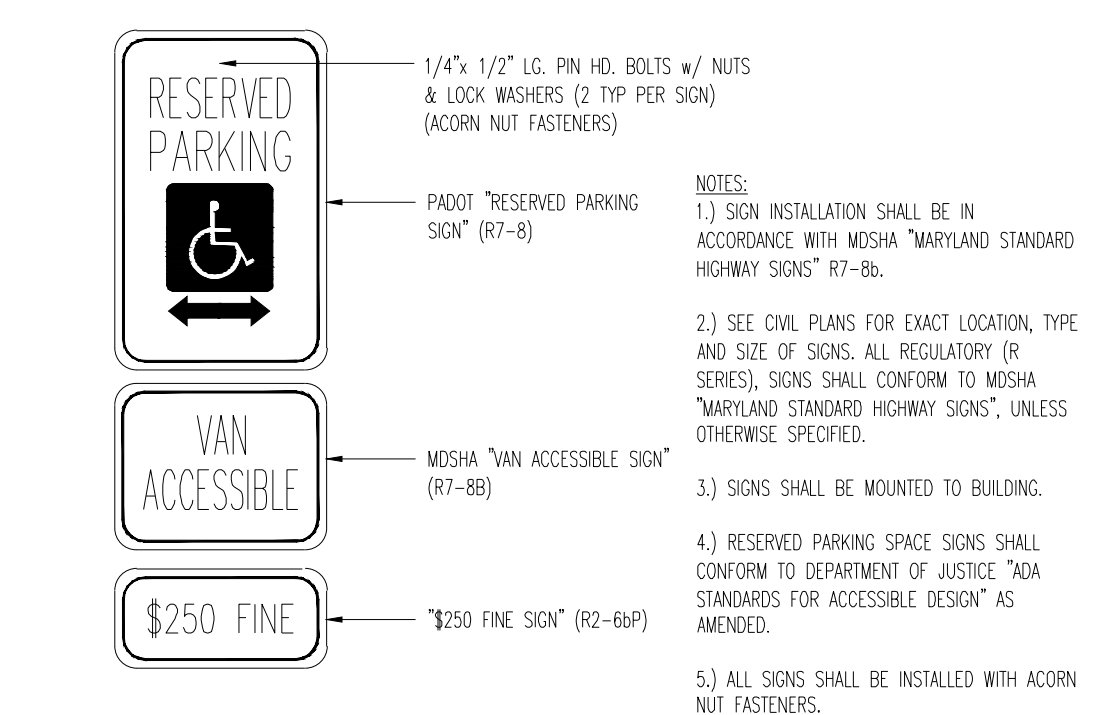
CURB RAMP #1  
NTS

HANDICAP SIGNS  
(SEE DETAIL) (MOUNTED ON BOLLARD)

"NO PARKING IN ACCESS AISLE"  
SIGN FOR 8' VAN-ACCESSIBLE  
AISLE (SEE DETAIL) (MOUNTED ON BOLLARD)



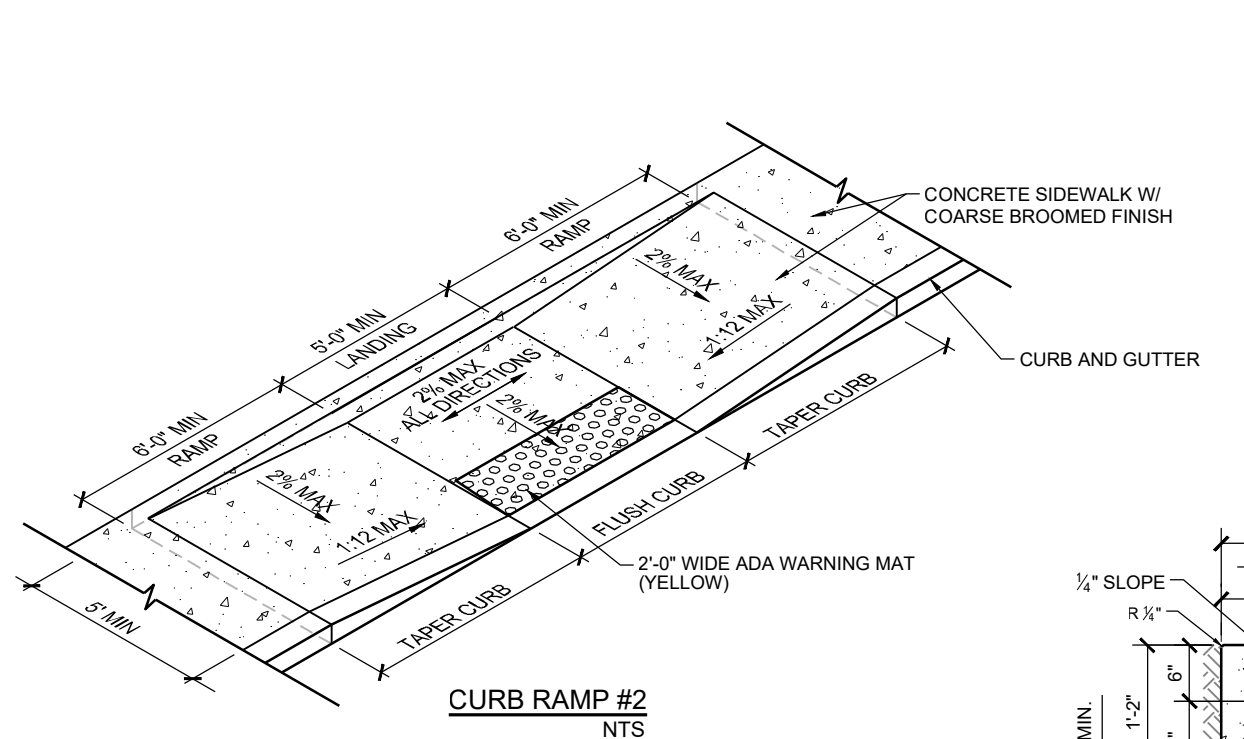
TYPICAL HANDICAP PARKING SPACE  
NTS



RESERVED PARKING SPACE W/ PENALTIES  
& VAN ACCESSIBLE SIGNS

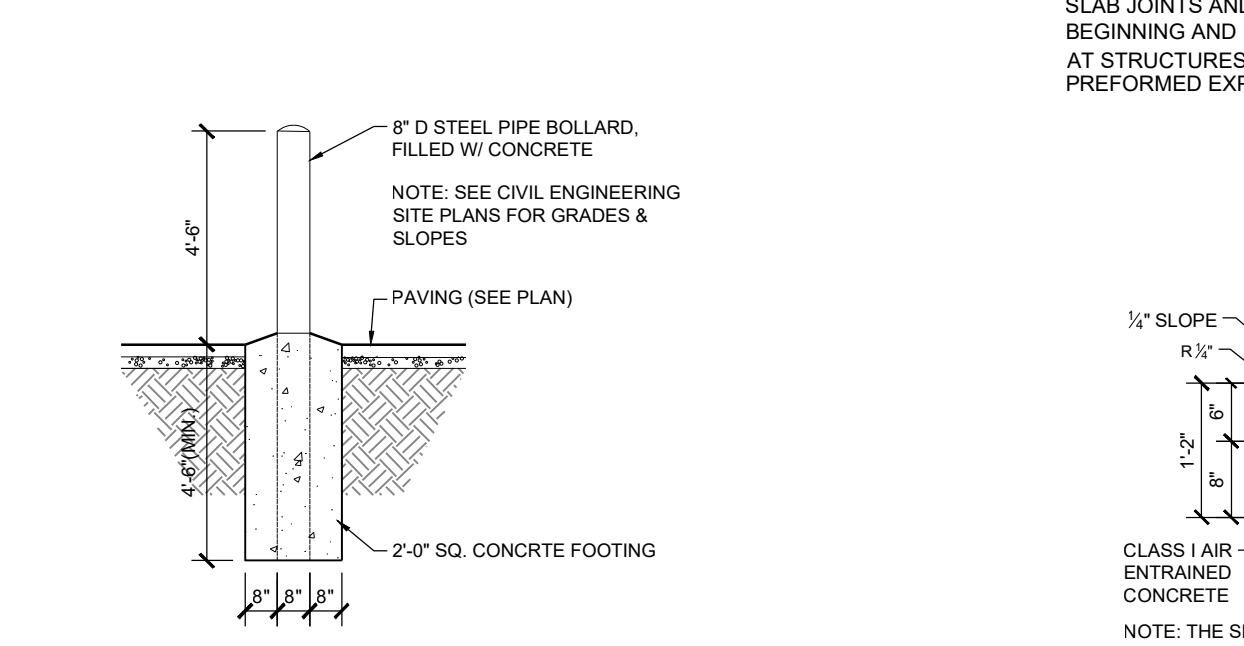


6 RUBBER WHEELSTOPS  
NTS

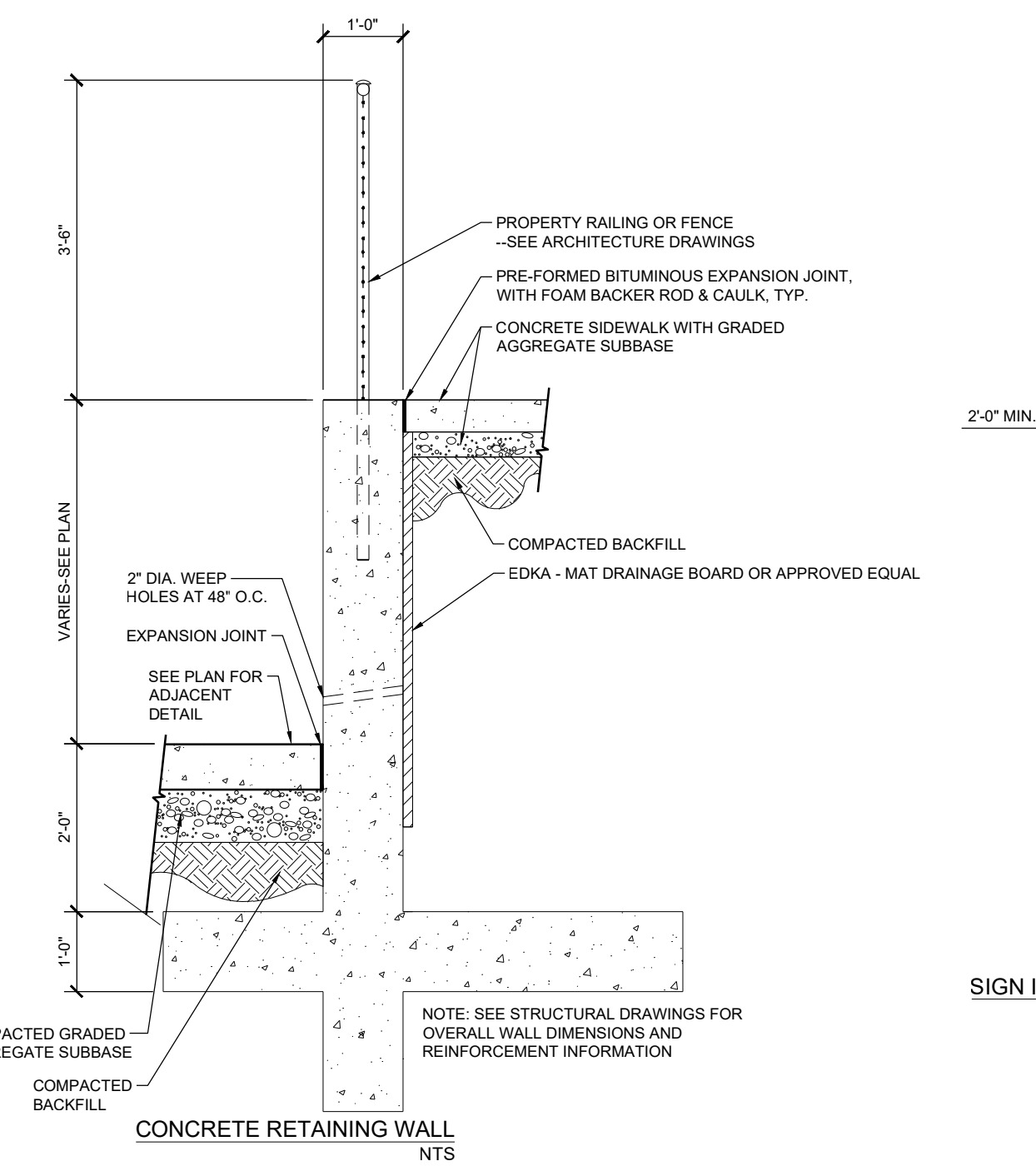


CURB RAMP #2  
NTS

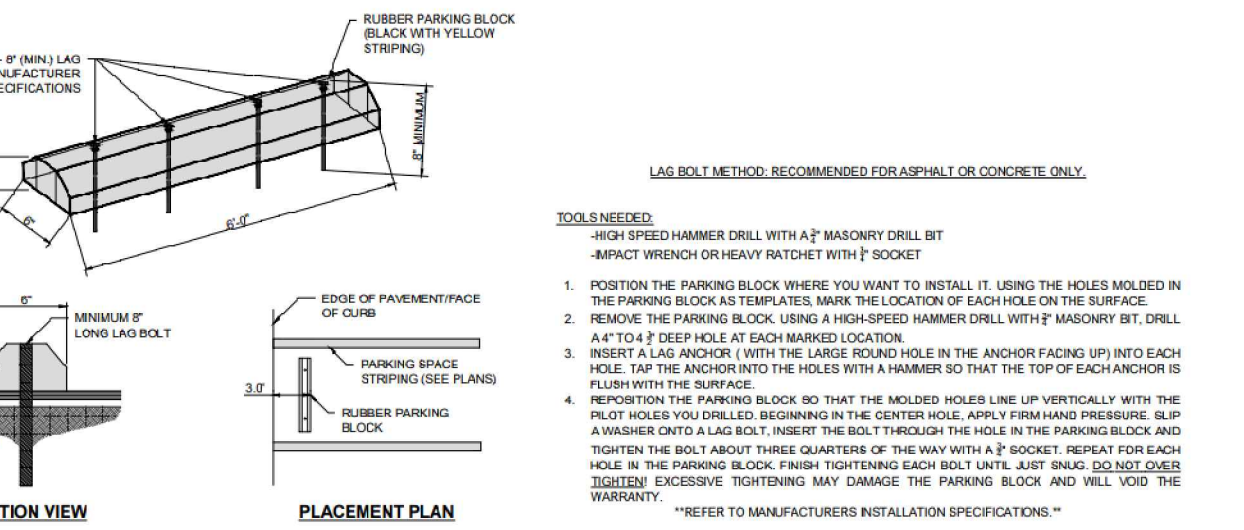
NOTE: SEE CIVIL ENGINEERING  
SITE PLANS FOR GRADES &  
SLOPES



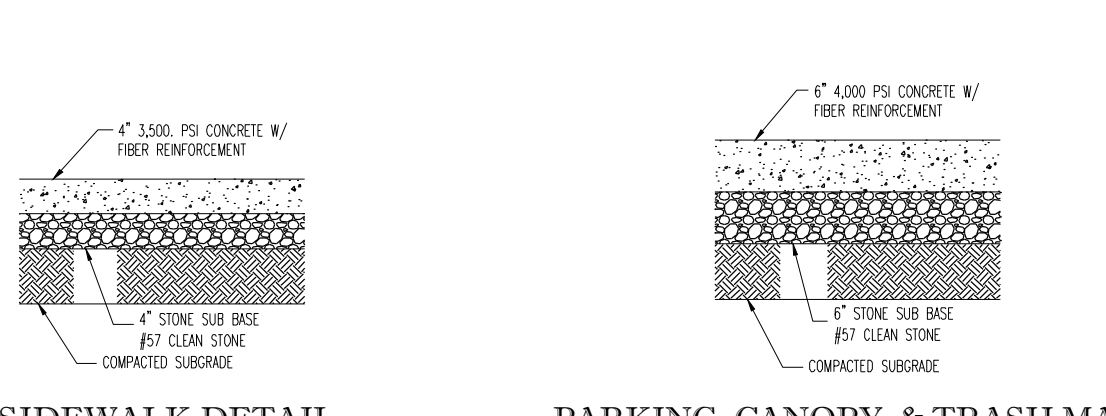
BOLLARD DETAIL  
NTS



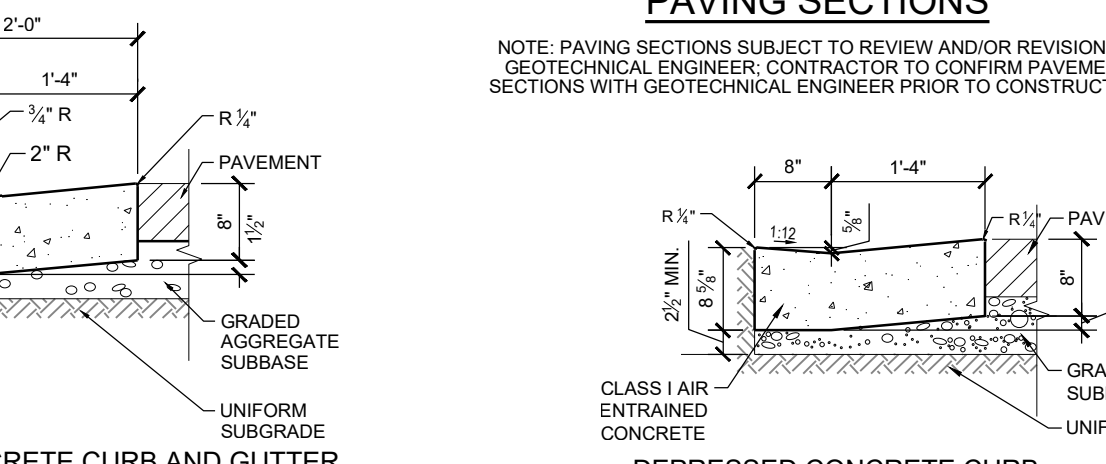
CONCRETE RETAINING WALL  
NTS



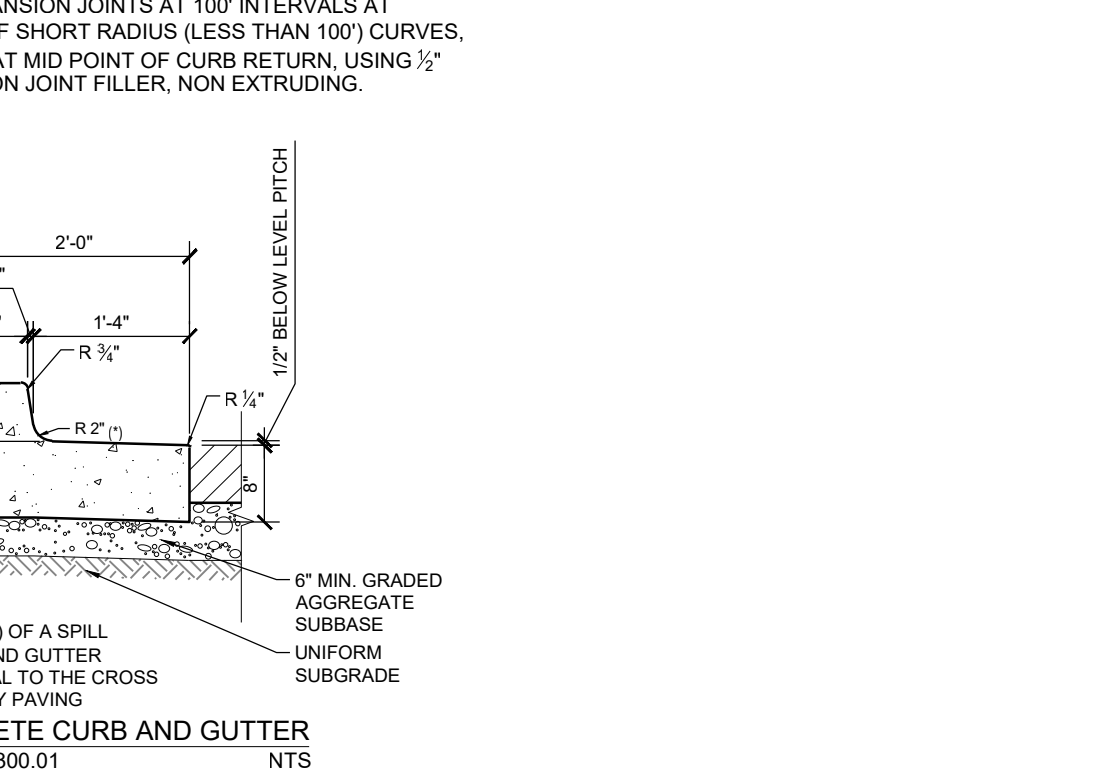
GUARD RAIL  
NTS



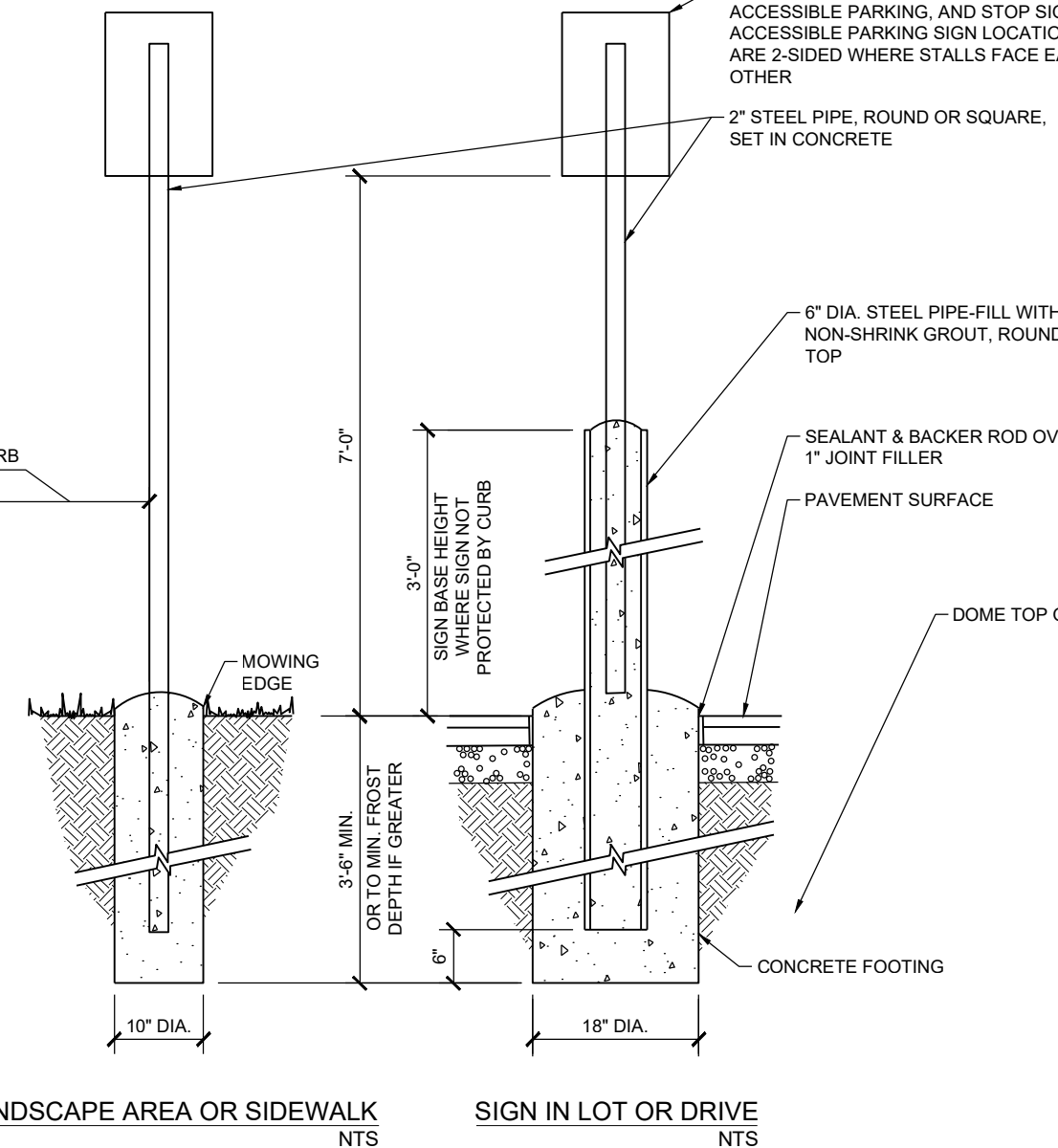
SIDEWALK DETAIL  
SCALE: N.T.S.



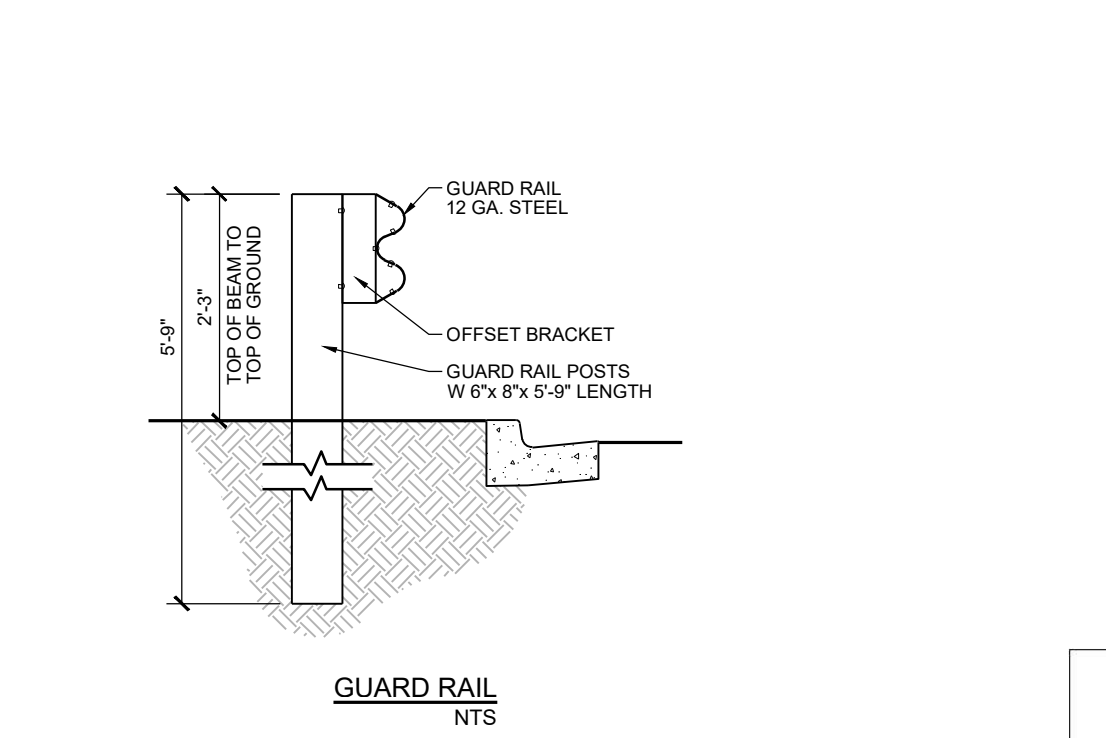
PARKING, CANOPY, & TRASH MAT DETAIL  
SCALE: N.T.S.



STANDARD CONCRETE CURB AND GUTTER  
PG CO. STD. NO. 300.01  
NTS



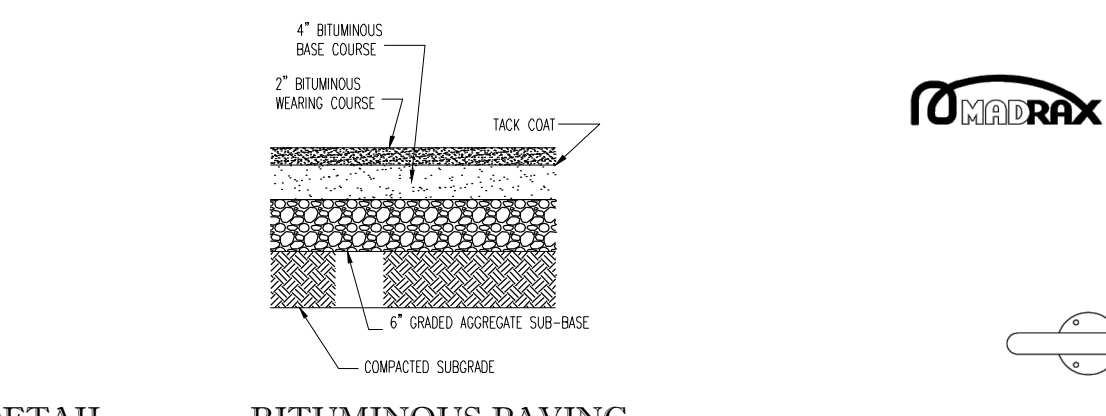
SIGN IN LANDSCAPE AREA OR SIDEWALK  
NTS



SIGN IN LOT OR DRIVE  
NTS



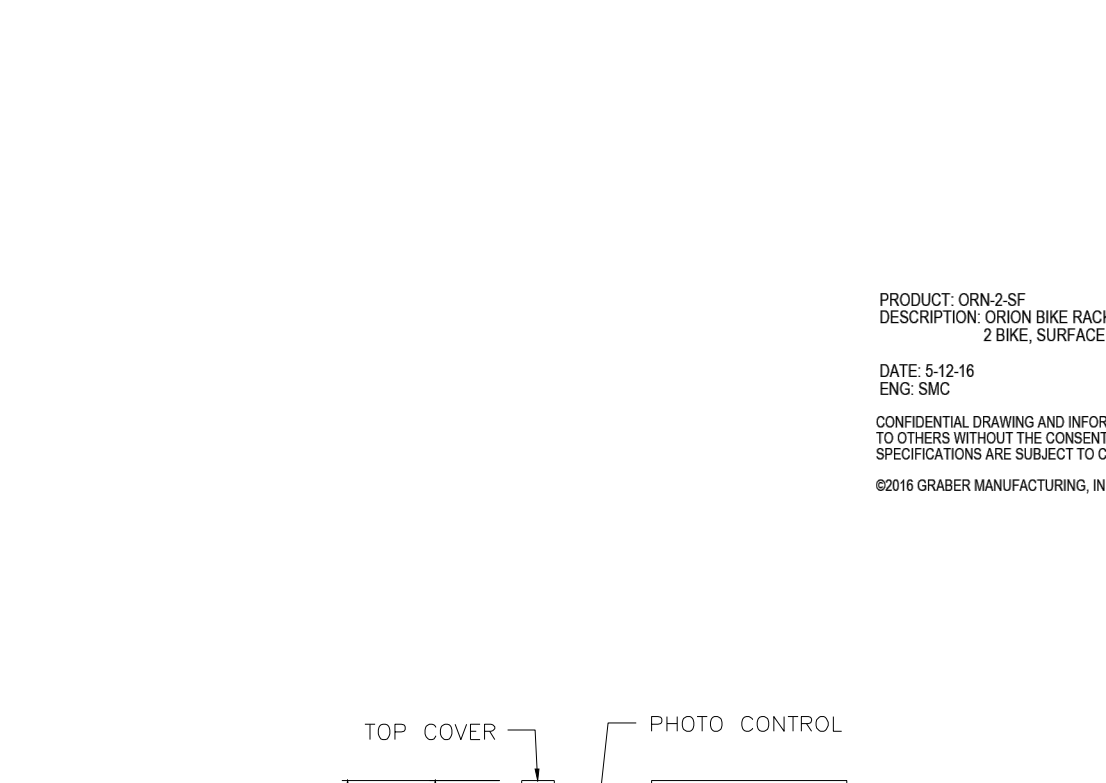
LIGHT POLE WITH  
STANDARD ANCHORING DETAIL  
NTS



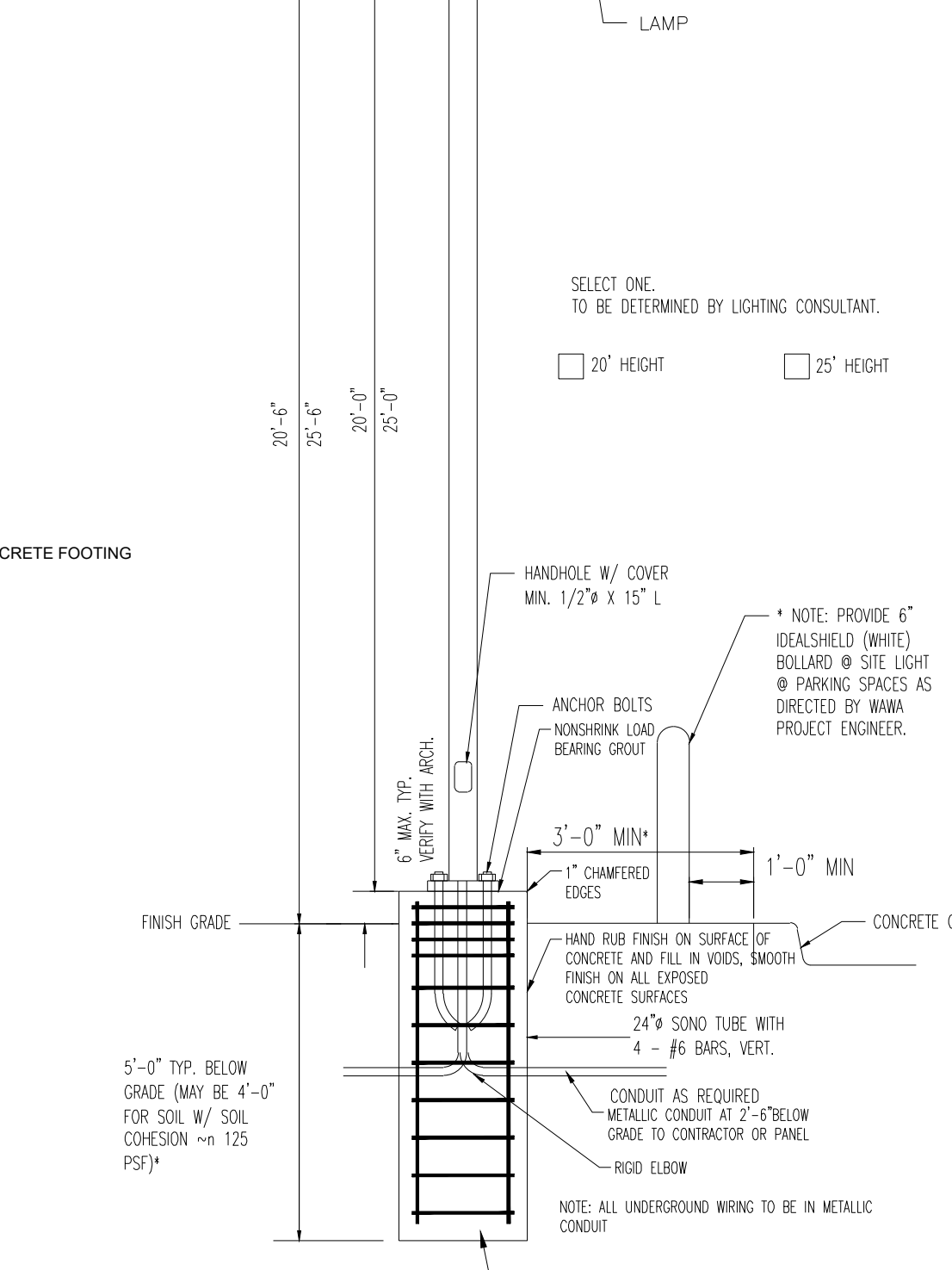
BITUMINOUS PAVING  
SCALE: N.T.S.



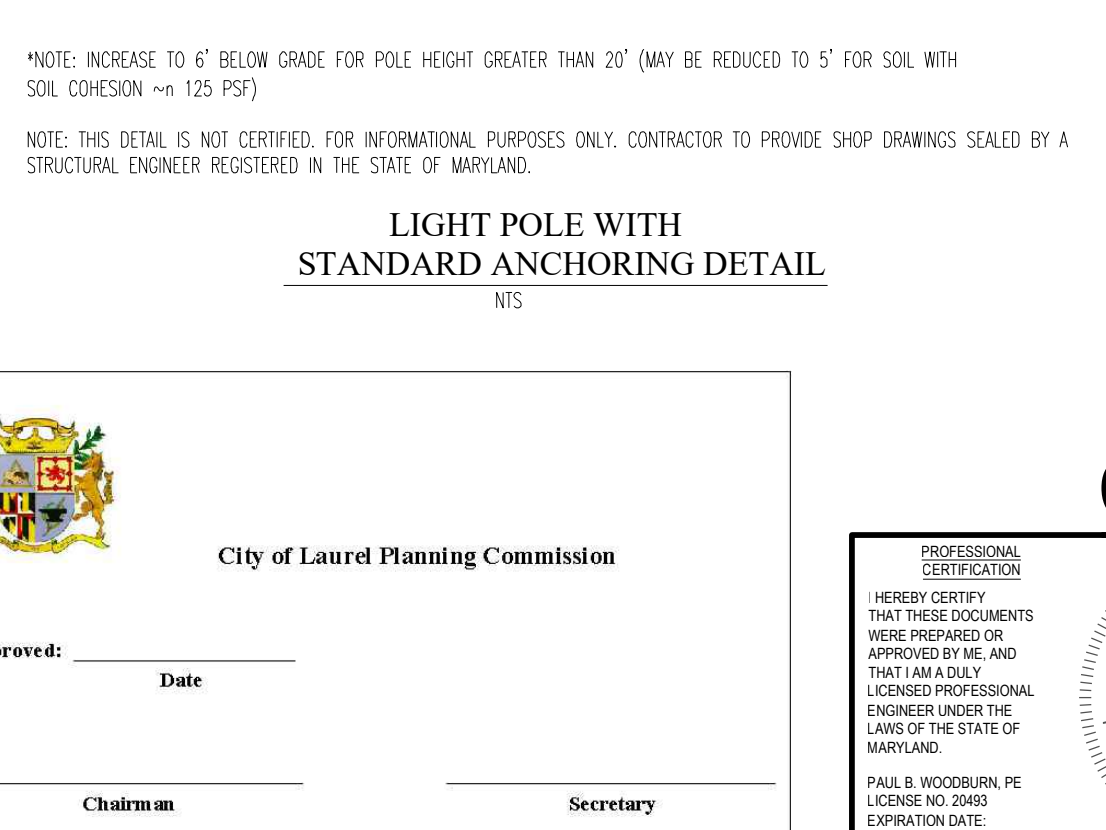
DEPRESSED CONCRETE CURB  
AND GUTTER AT SIDEWALK RAMP  
PG CO. STD. NO. 300.01  
NTS



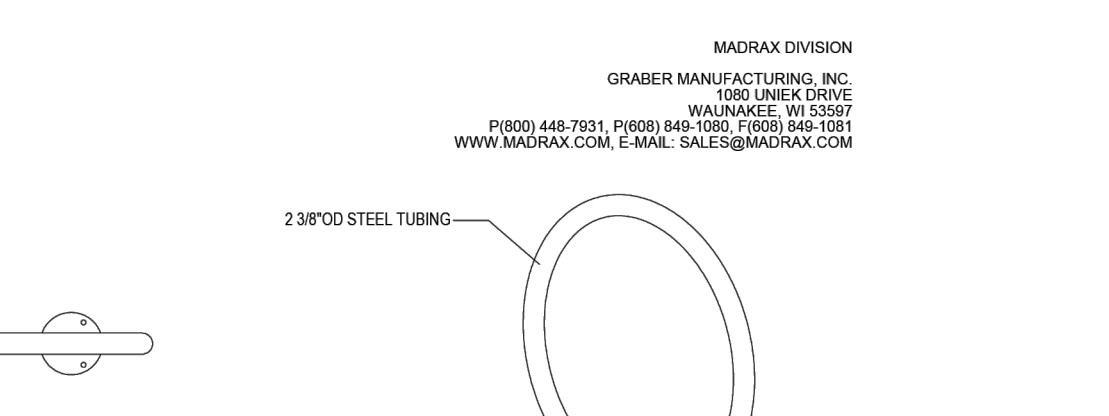
SPILL CONCRETE CURB AND GUTTER  
PG CO. STD. NO. 300.01  
NTS



TRAFFIC SIGN, INCLUDED NO PARKING,  
ACCESSIBLE PARKING, AND STOP SIGNS.  
ACCESSIBLE PARKING SIGN LOCATIONS  
ARE 2-SIDED WHERE STALLS FACE EACH  
OTHER



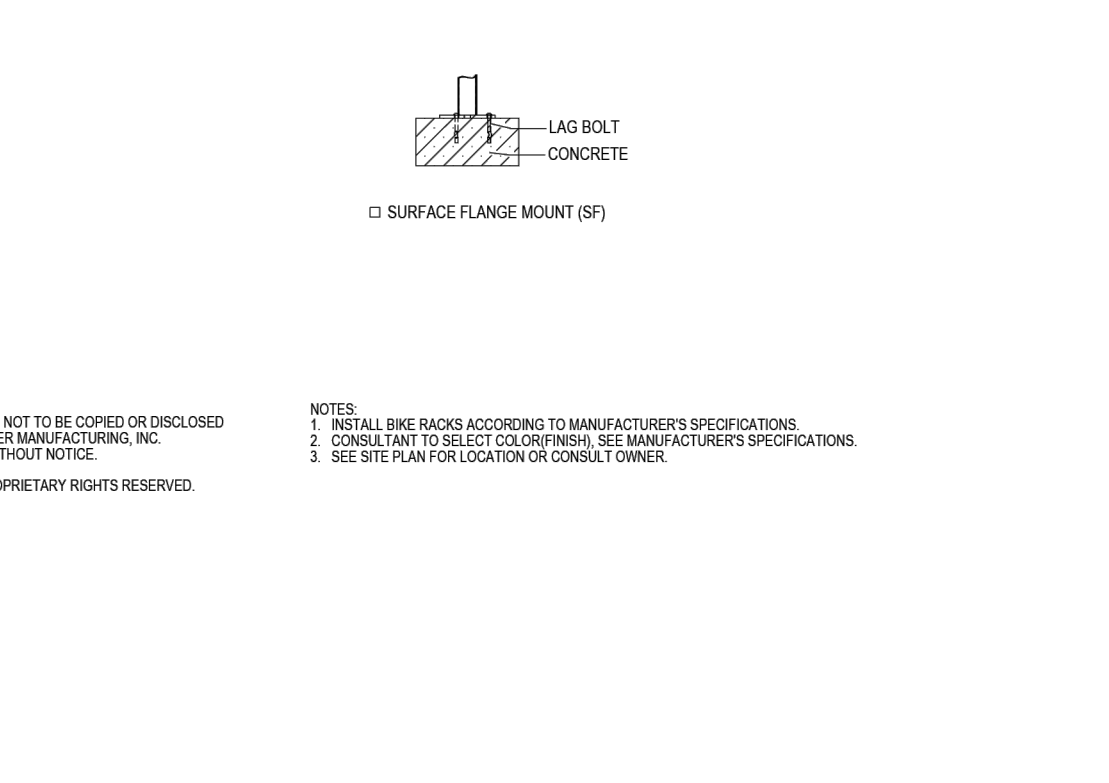
LIGHT POLE WITH  
STANDARD ANCHORING DETAIL  
NTS



BITUMINOUS PAVING  
SCALE: N.T.S.



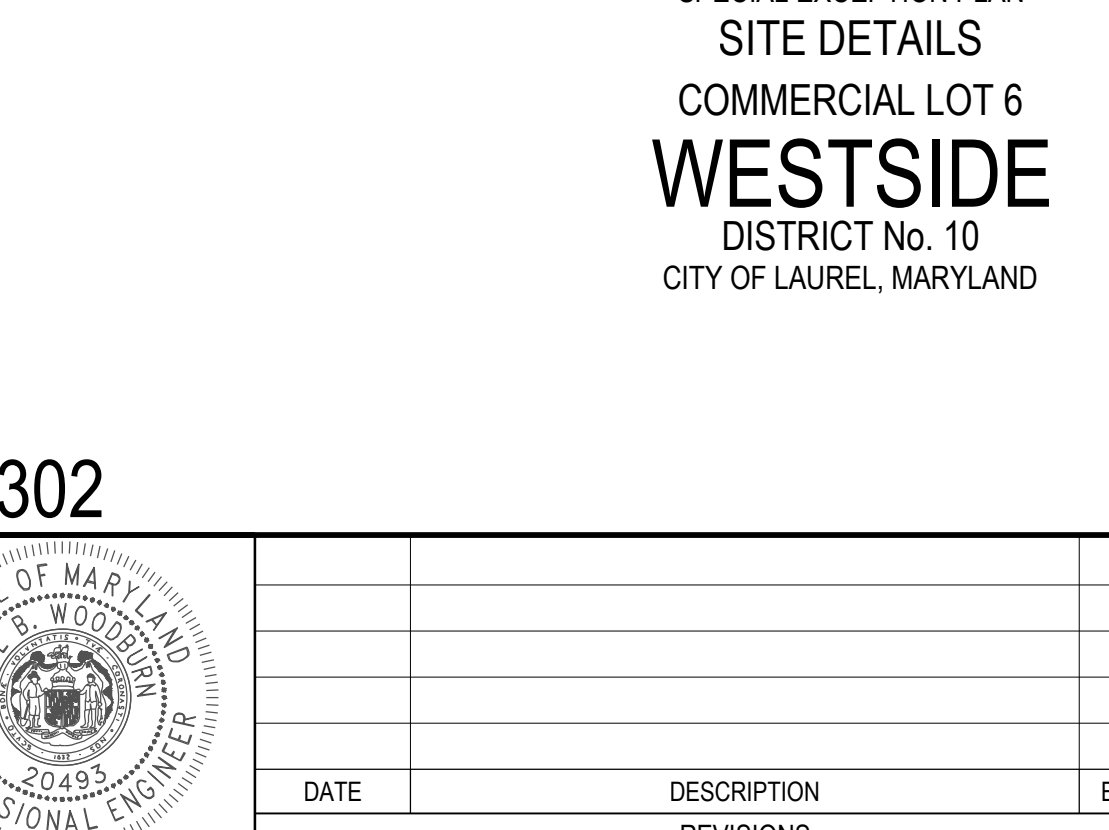
DEPRESSED CONCRETE CURB  
AND GUTTER AT SIDEWALK RAMP  
PG CO. STD. NO. 300.01  
NTS



SPILL CONCRETE CURB AND GUTTER  
PG CO. STD. NO. 300.01  
NTS



TRAFFIC SIGN, INCLUDED NO PARKING,  
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OTHER



LIGHT POLE WITH  
STANDARD ANCHORING DETAIL  
NTS



BITUMINOUS PAVING  
SCALE: N.T.S.



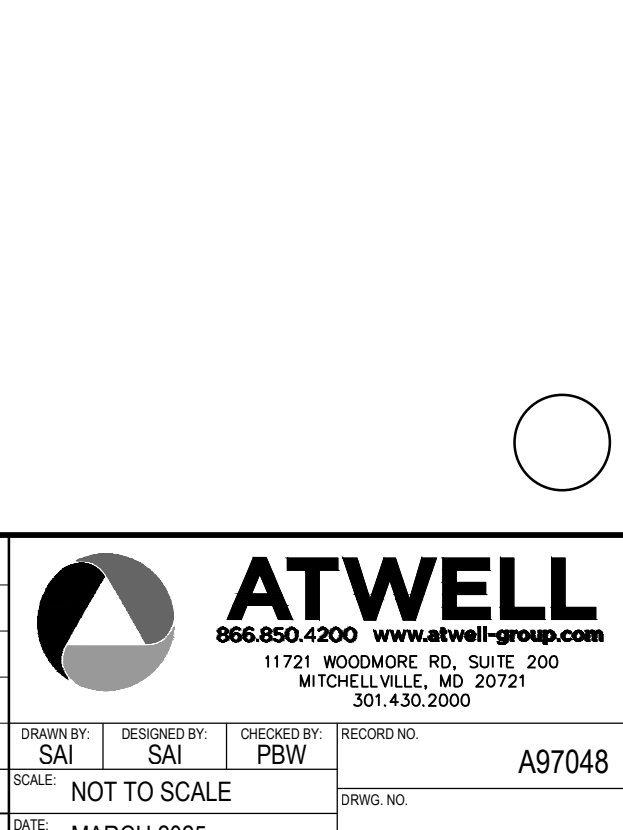
DEPRESSED CONCRETE CURB  
AND GUTTER AT SIDEWALK RAMP  
PG CO. STD. NO. 300.01  
NTS



SPILL CONCRETE CURB AND GUTTER  
PG CO. STD. NO. 300.01  
NTS



TRAFFIC SIGN, INCLUDED NO PARKING,  
ACCESSIBLE PARKING, AND STOP SIGNS.  
ACCESSIBLE PARKING SIGN LOCATIONS  
ARE 2-SIDED WHERE STALLS FACE EACH  
OTHER



LIGHT POLE WITH  
STANDARD ANCHORING DETAIL  
NTS

PRODUCT: ORN 3 SF  
DESCRIPTION: ORION BIKE RACK,  
2 BIKE, SURFACE MOUNT  
DATE: 5-12-16  
ENG: SMC  
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NOTES:  
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS  
2. CONSULTANT TO SELECT COLOR/PAINT. SEE MANUFACTURER'S SPECIFICATIONS.  
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

SITE DEVELOPMENT PLAN  
&  
SPECIAL EXCEPTION PLAN  
SITE DETAILS  
COMMERCIAL LOT 6  
WESTSIDE  
DISTRICT No. 10  
CITY OF LAUREL, MARYLAND

City of Laurel Planning Commission

Approved: \_\_\_\_\_ Date \_\_\_\_\_

Chairman Secretary

C-302

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. PAUL B. WOODRUM, PE LICENSE NO. 20483 EXPIRATION DATE: NONE	DATE	DESCRIPTION	BY	SCALE	NOT TO SCALE	REVISIONS	DATE	RECORDING NO.	A97048
DATE		DESCRIPTION		BY		SCALE		NOT TO SCALE	
DATE		DESCRIPTION		BY		SCALE		NOT TO SCALE	

DATE: MARCH 2025

K:\C3D-PROJ\A97048-C3D\DWG\ISP-Lot6.dwg, 11/19/2025 3:16:16 PM, cgarrioso