

## GENERAL NOTES

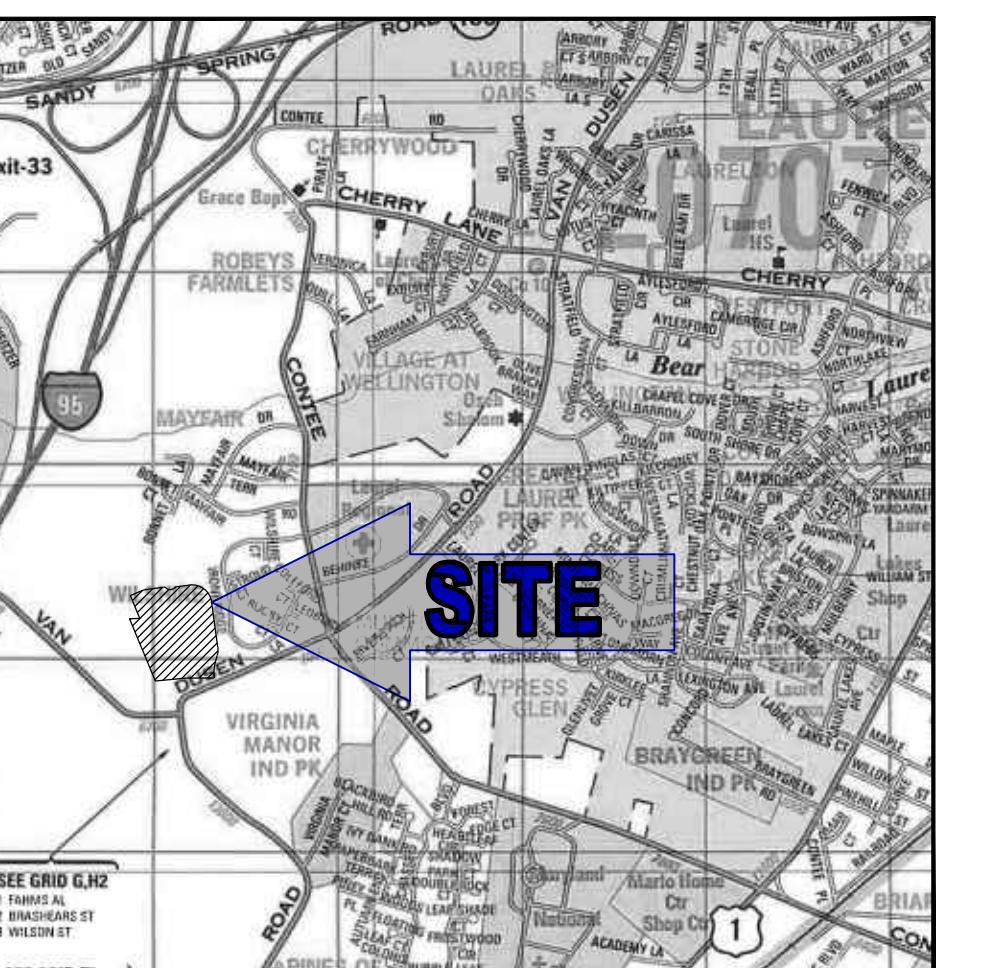
- This Detailed Site Plan is for the development of a Specialty Restaurant with drive-through on Lot 6 and Grading on Lot 5.
- The subject property is zoned M-X-T. Surrounding properties are zoned M-X-T as shown hereon.
- The existing use of this property is vacant.
- Topography and boundary information shown hear on was prepared by Atwell LLC.
- Total site area included in this Detailed Site Plan is 88,491 SF (2.032 AC)
- Total Disturbed Area = 74,484 SF (1.710 AC)
- Parking
  - A. Required: 38 spaces
 

Use	Rate	Requirement
Specialty Restaurant with Drive-Through (56 seat)	@ 2 spaces / 3 seats	37.3 parking spaces
  - B. Provided: 50 spaces as follows:
    - 47 Standard Spaces @ 9' x 19' min.
    - 2 Accessible Handicap Spaces @ 9' x 19' with 9' access aisle.
    - 1 Van Accessible Handicap Spaces @ 9' x 19' with 9' access aisle.
- Loading (12 X 40 FT Min)
  - A. Loading Space Required: N/A (Less than 5,000 SF)
  - B. Loading Space Provided: 0 Space
- Building Coverage - Maximum: 12,385 SF (30%) Provided: 2,748 SF (6.6%)
- Floor Area Ratio (FAR) - Proposed (Lot 6): 0.07 FAR (2,748 SF GFA) Proposed (Overall, Ex. Lots 2, 3 & 4 and Prop. Lot 6): 0.09 FAR (27,649 SF GFA) (Overall community (40,000 SF max.)) Allowed (Overall): 1.2 FAR (Max. floor area ratio allowed for overall community (Additional 1.0 for having 20 residential units))
- Building Height: 24 FT
- The subject property appears on Washington Suburban Sanitary Commission Sheet 218NE18.
- The subject property appears on Tax Map 9, Grid D1.
- The subject property is not located within any Aviation Policy Areas.
- The subject property has an existing Water/Sewer Category of W-3/S-3 and a proposed Water/Sewer Category of W-3/S-3.
- There is no evidence of a cemetery or contiguous to the subject property.
- There are no historic structures on or near the subject property.
- There are no wetlands or Waters of the United States on the subject property.
- There is no 100 year floodplain on the subject property.
- The subject property is not located within the Chesapeake Bay Critical Area.
- Applicant: Westside Land Holdings, LLC
- Manassas, VA 20111-4803
- Green Area (Lot 6): Required = 4,748 SF (10% of Net Lot Area) Provided = 8,147 SF (17.2% of Net Lot Area)
- All on-site concrete curb and gutter to be Prince George's County Std. No. 300.01 unless otherwise modified.
- All parking spaces shall be defined by 4" wide white painted striping.
- Radius on island curb work to be 5 feet unless otherwise shown.
- Minimum grade on areas not paved: 2.5% unless otherwise noted. 2% in swales.
- Maximum grade: 2.1
- Contour interval: 1 foot
- Vertical datum is based on NGVD 1929 Datum.
- Horizontal datum is based on NAD 83/91 Datum.
- Existing Utilities
  - A. Notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to beginning any excavation or construction for them to mark the location of existing utilities.
  - B. Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and elevations of the mains by digging test pits by hand at utility crossings well in advance of trenching. If clearances of the lines are less than shown on this plan or less than twelve inches, contact the engineer and other involved utility companies before proceeding with construction.
  - C. Omissions and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Atwell, LLC shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
  - D. Due to the proximity of live underground and overhead utilities, Atwell is not responsible for any damage or injury sustained during construction by any persons, trucks, trailers, or equipment used on or adjacent to the site.
- Grading work shall be in accordance with Division 2 of the Prince George's County Building Code (Subtitle 32, latest edition). All proposed load-bearing fills for the support of buildings, walls and other structures shall be Class I. All fills for the support of roadways, pavements, rigid utility lines and house connections shall be Class II. All landscaped areas, lawns and plantings, or other nonload bearing uses shall be Class III. Each layer of Class I and Class II fills shall be compacted at optimum moisture content and to a minimum of 95% and 90% respectively of maximum density as determined in the laboratory by the Standard Proctor Test (AASHTO T-99, ASTM D-398). In-place density tests shall be provided by a licensed Geotechnical Engineer.
- The site geotechnical analysis and report prepared by a Maryland licensed Geotechnical Engineer shall be consulted and used to provide details for pavement sections, lift thickness, compaction, drainage, and any other site specific recommendations and requirements. Those recommendations and requirements shall take precedence over any conflicting information between the plans and report.
- Upon completion of work, site grading, drainage, property corner and landscape observations and certifications must be performed by a licensed professional engineer, landscape architect and/or surveyor, confirming that all work has been completed in accordance with the permit, approved plans, and codes. These certifications are required to finalize the permit and release bonds.
- All grades, elevations, earth quantities, etc., are to be verified by the contractor. Any earth quantities shown or implied are measured to final grade and are approximate. No allowance has been made for unsuitable material encountered during construction. Suitability of soil for use in fill areas or stability of cut areas, compaction, etc., should be determined by a soils engineer.
- The contractor will be responsible for any damage to the existing structures and underground utilities.
- The contractor will have sole responsibility for the construction means, methods, and techniques of executing his work, including safety.
- During the construction phases of this project, the contractor shall comply with Subtitle 19 of the Prince George's County Code to not allow noise to adversely impact activities on the adjacent properties.
- During the construction phases of this project, the contractor shall comply with the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control to prevent dust from crossing over property lines and impact adjacent properties.
- No handicap parking space shall have a slope greater than 2.0% in any direction. No handicap ramp shall have a longitudinal slope greater than 8.3% or a cross slope greater than 2.0%.
- Unless otherwise shown, all sidewalks shall have a cross slope no greater than 2%.
- Dimensions shown in the parking and drive areas are to face of curb, where applicable.
- All exterior light poles are to be set back at least 2.0' from the face of curb when located on vehicular surfaces or head in parking spaces unless otherwise shown.
- Arrows shown in drive aisles indicate general direction of travel and are not intended to convey a requirement that arrows be painted on the pavement.
- Note: Lot 5 is shown for grading coordination and is not part of the Site Development Plan and Special Exception.

# SITE DEVELOPMENT PLAN & SPECIAL EXCEPTION PLAN FOR WESTSIDE

## COMMERCIAL LOT 6 - PANDA EXPRESS

### TAX MAP 09, GRID D1 CITY OF LAUREL, MARYLAND 20707 10TH ELECTION DISTRICT



LOCATION MAP

COPYRIGHT ADD THE MAP PEOPLE  
SCALE: 1"=2000'

## OWNER/DEVELOPER

WESTSIDE LAND HOLDINGS, LLC  
9102 OWENS DRIVE  
MANASSAS, VA 20111-4803  
PHONE: (703) 335-2255

SITE DEVELOPMENT PLAN  
&  
SPECIAL EXCEPTION PLAN  
COVER SHEET  
COMMERCIAL LOT 6  
WESTSIDE  
DISTRICT No. 10  
CITY OF LAUREL, MARYLAND

City of Laurel Planning Commission

Approved: _____	Date: _____
Chairman	Secretary

City of Laurel DPW

DATE RECEIVED BY DPW: _____	DATE RETURNED TO ECD: _____		
DPW REVIEWER: _____	DATE: _____		
DPW DIRECTOR (OR DESIGNEE): _____	DATE: _____		
APPROVED: _____	APPROVED W/COMMENTS: _____	REVIEWED: _____	REJECTED: _____

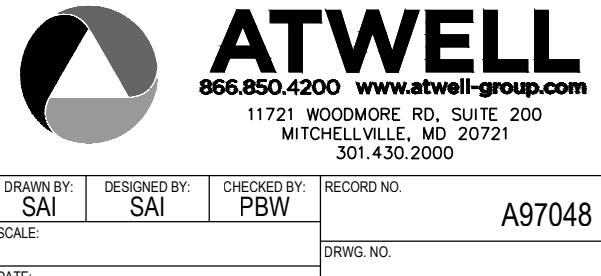
City of Laurel Board of Appeals

Approved: _____	Date: _____		
Chairman	Secretary		
City of Laurel DPW			
DATE RECEIVED BY DPW: _____	DATE RETURNED TO ECD: _____		
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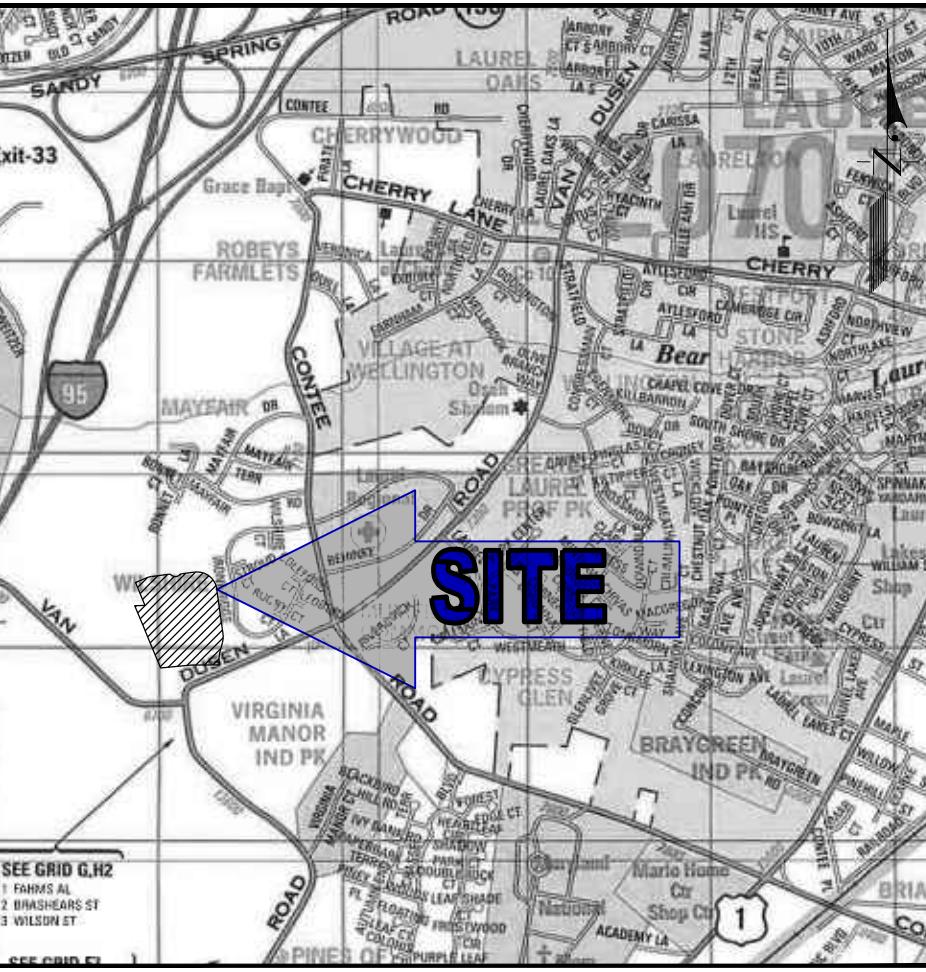
C-101

PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY DIRECTION AND THAT THEY WERE APPROVED BY ME AND THAT THEY WERE LICENCED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
PAUL B. WOODBURN, PE LICENSE NO. 20493 EXPIRATION DATE 06/26/2025
4/28/2025
DATE: MARCH 2025
DESCRIPTION: REVISIONS
BY: DRWG. NO.

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LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE

SCALE: 1=2000'

LEGEND

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMIT OF DISTURBANCE
- PROPOSED FLOW ARROW
- PROPOSED CONCRETE PAVING
- PROPOSED HEAVY DUTY CONCRETE PAVING
- PROPOSED DOOR LOCATIONS
- PROPOSED FIRE HYDRANT
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING TREE LINE
- STANDARD PARKING SPACES
- COMPACT PARKING SPACES
- HANDICAPPED PARKING SPACES
- EXISTING CURB & GUTTER

THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.



City of Laurel Planning Commission

Approved: \_\_\_\_\_ Date: \_\_\_\_\_

Chairman \_\_\_\_\_

Secretary \_\_\_\_\_

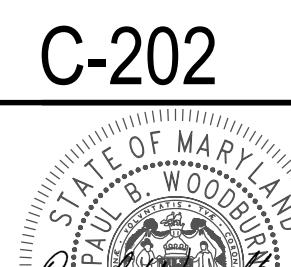
SITE DEVELOPMENT PLAN & SPECIAL EXCEPTION PLAN

EXISTING CONDITIONS & DEMOLITION PLAN

COMMERCIAL LOT 6

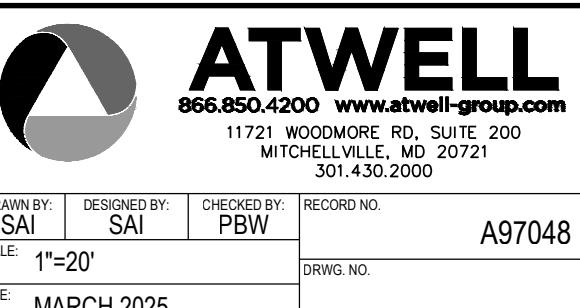
WESTSIDE  
DISTRICT No. 10  
CITY OF LAUREL, MARYLAND

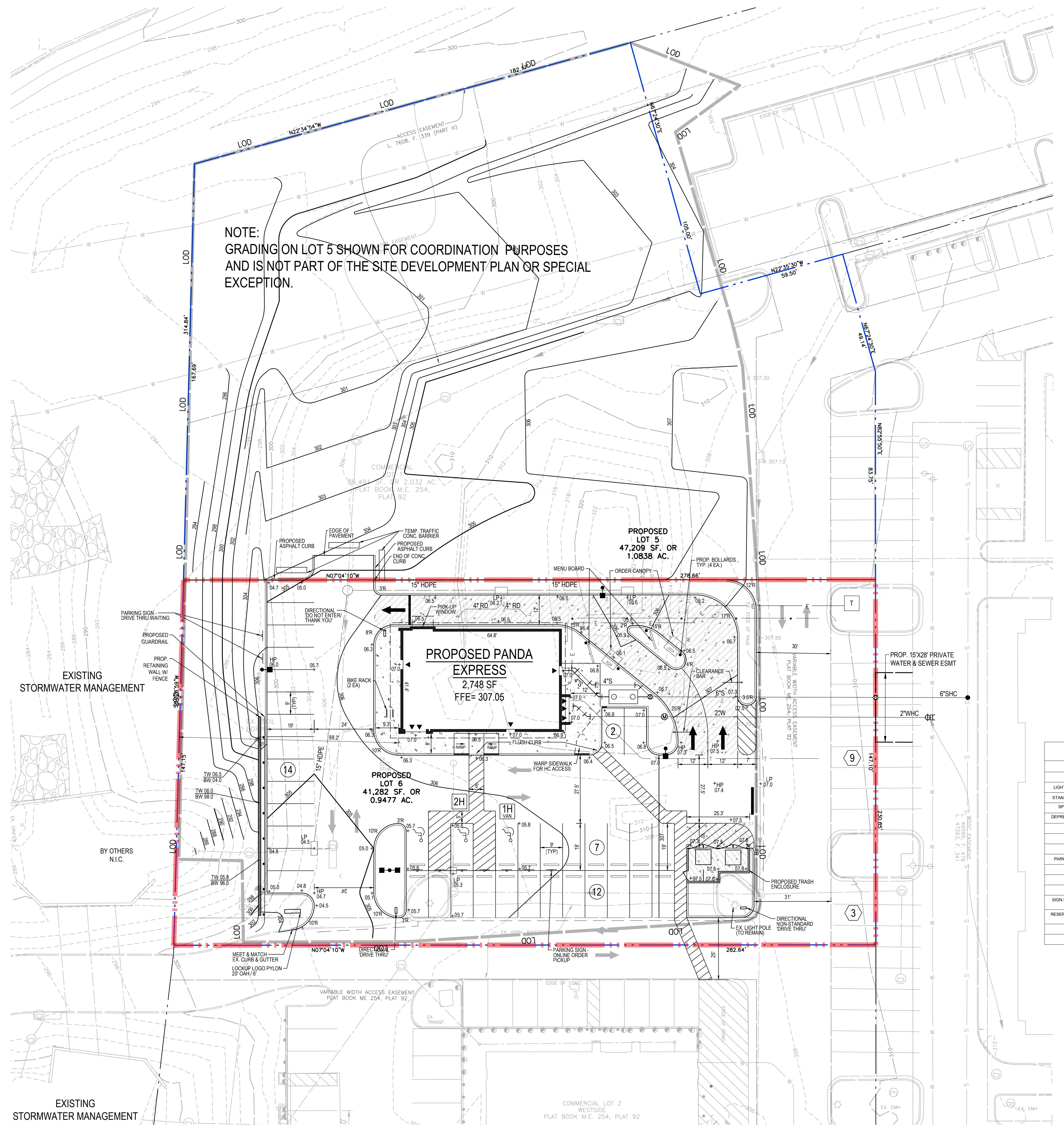
GRAPHIC SCALE 1=20'  
0 20' 40' 60'



C-202

PROFESSIONAL CERTIFICATION	
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE DRAWN, DESIGNED, OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.	
PAUL B. WOODBURN, PE LICENSE NO. 20493 EXPIRATION DATE 06/26/2021	
DATE 4/28/2025	DESCRIPTION REVISIONS
BY SCALE: 1=20' SAI	DESIGNED BY PE RECORD NO. A97048
DATE MARCH 2025	REVISIONS





## GENERAL SITE PLAN NOTES

1. ALL ADA ACCESSIBLE PARKING SPACES AND ACCESS ROUTES SHALL BE CONSTRUCTED TO MEET ADA REQUIREMENTS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
3. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
5. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BEN DYER ASSOCIATES, INC. IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
6. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
7. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
8. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED HAZARDOUS MATERIAL, AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
9. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
10. CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF PAVEMENT, STRUCTURES, ETC. TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
11. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND FOR NOTIFYING CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
12. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
13. ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
14. ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAVE THEY BEEN RETAINED FOR SUCH PURPOSES.

## LEGEND

This legend provides a key for symbols and line styles used in the site plan. It includes:

- PROPERTY BOUNDARY:** Red dashed line.
- EXISTING CONTOUR:** Dashed line labeled "78".
- PROPOSED CONTOUR:** Solid line labeled "78".
- EXISTING SPOT ELEVATION:** Text "X108.3" and "X110.3".
- PROPOSED SPOT ELEVATION:** Text "08.3 +" and "10.3 +".
- LOD:** Horizontal bar with three segments: grey, grey with diagonal lines, and grey with horizontal lines.
- PROPOSED FLOW ARROW:** Right-pointing arrow.
- PROPOSED CONCRETE PAVING:** Top section of a two-sectioned box with a dotted pattern.
- PROPOSED HEAVY DUTY CONCRETE PAVING:** Bottom section of the two-sectioned box with diagonal hatching.
- PROPOSED DOOR LOCATIONS:** Two black triangles.
- PROPOSED FIRE HYDRANT:** Text "FH".
- EXISTING SEWER:** Horizontal line labeled "S".
- PROPOSED SEWER:** Horizontal line with open circle at the end labeled "S".
- EXISTING WATER:** Horizontal line labeled "W".
- PROPOSED WATER:** Horizontal line with open circle at the end labeled "W".
- EXISTING STORM DRAIN:** Horizontal line labeled "D".
- PROPOSED STORM DRAIN:** Horizontal line with open circle at the end labeled "D".
- EXISTING TREE LINE:** Wavy line.
- STANDARD PARKING SPACES:** Circle with "#".
- COMPACT PARKING SPACES:** Hexagon with "#".
- HANDICAPPED PARKING SPACES:** Circle with "#H".

EXISTING CURB & GUTTER  
THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777,  
EIGHTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON  
THESE DRAWINGS.

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## SITE DATA

SITE DATA		
CATEGORIES	EXISTING/ALLOWED	PROPOSED
JURISDICTION	CITY OF LAUREL	CITY OF LAUREL
ZONE	M-X-T (MIXED USE - TRANSPORTATION ORIENTED)	M-X-T (MIXED USE - TRANSPORTATION ORIENTED)
USE	VACANT	GENERAL RETAIL
TOTAL LOT AREA	LOT 2 = 2.11 AC. LOT 3 = 1.46 AC. LOT 4 = 1.25 AC. LOT 5 = 1.08 AC. LOT 6 = 0.95 AC. TOTAL = 6.85 AC.	LOT 2 = 2.11 AC. LOT 3 = 1.46 AC. LOT 4 = 1.25 AC. LOT 5 = 1.08 AC. LOT 6 = 0.95 AC. TOTAL = 6.85 AC.
BUILDING FLOOR AREA	LOT 2 = 5,600 S.F. LOT 3 = 10,231 S.F. LOT 4 = 4,800 S.F. LOT 5 = TBD LOT 6 = TBD (NET LOT AREA 5.97%)	LOT 2 = 5,600 S.F. (6.1%) LOT 3 = 10,231 S.F. (16.1%) LOT 4 = 4,800 S.F. (8.8%) LOT 5 = TBD LOT 6 = 2,748 S.F. (6.6%) (NET LOT AREA 7.8%)
PARKING	LOT 6: 54 SEATS @ 2 SP/3 SEAT = 38 SPACES	LOT 6: 50 SPACES
SETBACKS (BUILDING/ PARKING AREAS AND DRIVES)		
FRONT SETBACK (SOUTH)	30' / 0'	82.2'
SIDE SETBACK (WEST)	0' / 0'	18.8'
SIDE SETBACK (EAST)	0' / 0'	85.2'
REAR SETBACK (NORTH)	0' / 0'	145.8'



## of Laurel Planning Commission

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**Date**

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**Chairman**

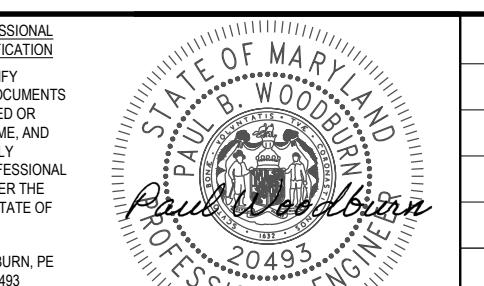
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**Secretary**

DEVELOPMENT PLAN  
&  
SPECIAL EXCEPTION PLAN  
**SITE PLAN**

COMMERCIAL LOT 6  
**ESTSIDE**  
DISTRICT No. 10

C-301



4/28/2025 REVISION  
-PROJ\A97048-C3D\DWG\DSP-Lot6.dwg, 4/28/2025 1:55:34 PM, kgarvey



		MITCHELLVILLE, MD 20721 301.430.2000		
	DRAWN BY: SAI	DESIGNED BY: SAI	CHECKED BY: PBW	RECORD NO. A97048
BY	SCALE: 1"=20'			DRWG. NO.
	DATE: MARCH 2025			

